

12.400 Exception 400

12.400.1 The lands shall only be used for the following purposes:

- .1 Commercial:
 - .a a retail establishment having no outdoor storage;
 - .b a bank, trust company or financial institution;
 - .c an office;
 - .d a supermarket;
 - .e a convenience store;
 - .f a dry cleaning or laundry distribution station;
 - .g a laundromat;
 - .h a wine, beer or liquor store; and,
 - .i a dining room restaurant or a take-out restaurant.
- .2 Non-Commercial:
 - .a a community centre;
 - .b a recreation centre;
 - .c a day nursery; and,
 - .d purposes accessory to the other permitted purposes.

12.400.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Lot Area: a recreational area, community centre or a day nursery or any combination thereof, shall have a minimum lot area of 0.5 hectares;
- .2 Minimum Front Yard Depth: 18.0 metres
- .3 Minimum Interior Side Yard Width: 0 metres
- .4 Minimum Exterior Side Yard Width: 18.0 metres
- .5 Maximum Building Height: 10.6 metres
- .6 Maximum Gross Commercial Floor Area: 5020.0 square metres

12.401 Exception 401

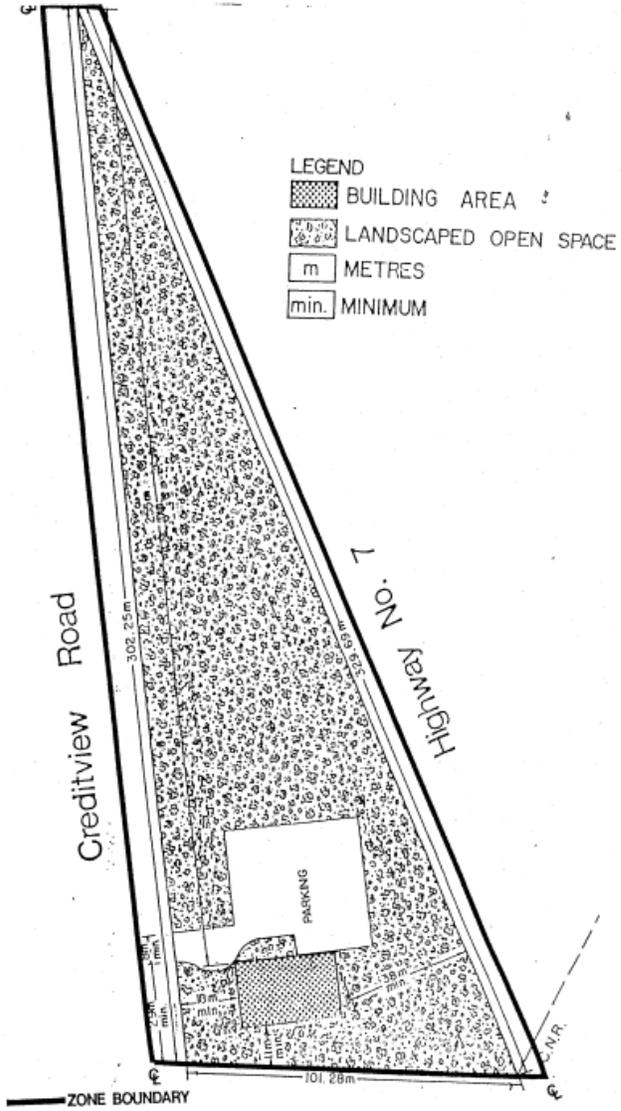
12.401.1 The lands shall only be used for the following purposes:

- .1 a religious institution;
- .2 purposes accessory to the other permitted purposes.

12.401.2 The lands shall be subject to the following requirements and restrictions:

- .1 all buildings shall be located within the area shown as BUILDING AREA on ~~SCHEDULE C~~
~~SECTION 401~~ Figure 1;
- .2 Landscaped Open Space shall be provided and maintained in the areas shown as LANDSCAPED
OPEN SPACE on ~~Figure 1~~ ~~SCHEDULE C~~ ~~SECTION 401~~.
- .3 the Gross Floor Area of all structures shall not exceed 750.0 square metres;
- .4 the Maximum Height of any structure shall not exceed 6.0 metres;

Figure 1



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12.402 Exception 402

12.402.1 The lands shall only be used for the following purposes:

- .1 shall only be used for the purposes permitted in the **R1MR1B(1) Zone**.

12.402.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Lot Area:
 - .a for an Interior Lot: 396.0 square metres
 - .b for a Corner Lot: 486.0 square metres
- .2 Minimum Lot Width:
 - .a for an Interior Lot: 13.2 metres
 - .b for a Corner Lot: 16.2 metres
- .3 Minimum Lot Depth: 30.0 metres
- .4 Minimum Front Yard Depth:
 - .a to the main wall of the building: 4.5 metres
 - .b to the front of a garage or carport: 6.0 metres
- .5 Minimum Side Yard Width:
 - .a for an exterior side yard:
 - .i 3.0 metres, where the dwelling unit and garage both face the front lot line; and,
 - .ii 3.0 metres for the dwelling unit and 6.0 metres for the garage where the garage faces a side lot line.
- .6 for a side yard flanking a public walkway, or land zoned Open Space (OS): 1.2 metres, plus 0.6 metres for each additional storey above the first.
- .7 for all other side yards: 0 metres provided that:
 - .a the distance between the walls of two dwellings is not less than 1.8 metres;
 - .b where the distance between the walls of two dwellings is less than 2.4 metres, no window below grade or door below grade shall be permitted in either wall; and,
 - .c the total width of side yards on any lot is not less than 1.8 metres.
- .8 Minimum Rear Yard Depth: 7.6 metres
- .9 Maximum Building Height: 2 storeys

- .10 Minimum Landscaped Open Space:
- .a 50 percent of the front yard of an interior lot;
 - .b 60 percent of the front yard of a corner lot; and,
 - .c 40 percent of the front yard area of a lot where the side lot lines converge towards the front lot line.

12.403 Exception 403

12.403.1 The lands shall only be used for the following purposes:

- .1 shall only be used for the purposes permitted in the **R1M R1B(1) Zone**.

12.403.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Lot Area:
 - .a Interior Lot: 360.0 square metres
 - .b Corner Lot: 486.0 square metres
- .2 Minimum Lot Width:
 - .a Interior Lot: 12.0 metres
 - .b Corner Lot: 16.2 metres
- .3 Minimum Lot Depth: 30.0 metres
- .4 Minimum Front Yard Depth: (1)
 - .a to the main wall of the building: 4.5 metres
 - .b to the front of a garage or carport: 6.0 metres
- .5 Minimum Side Yard Width:
 - .a for a side yard flanking a road allowance:
 - .i 3.0 metres, where the dwelling unit and garage both face the front lot line; and,
 - .ii 3.0 metres for the dwelling unit and 6.0 metres for the garage where the garage faces the side lot line.
 - .b for a side yard flanking a public walkway or lands zoned Open Space (OS): 1.2 metres, plus 0.6 metres for each additional storey above the first.
 - .c for all other side yards: 0 metres, provided that:
 - .i the distance between the walls of two dwellings is not less than 1.8 metres;
 - .ii where the distance between the walls of two dwellings is less than 2.4 metres, no window below grade, a door below grade is permitted in either wall; and,
 - .iii the total width of side yards on any lot shall not be less than 1.8 metres.
- .6 Minimum Rear Yard Depth: 7.6 metres
- .7 Maximum Building Height: 2 storeys

- .8 Minimum Landscaped Open Space:
 - .a 50 percent of the front yard area of an interior lot;
 - .b 60 percent of the front yard of a corner lot; and,
 - .c 40 percent of the front yard area of a lot where the side lot lines converge towards the front yard lot line.

12.404 Exception 404

12.404.1 The lands shall only be used for the following purposes:

- .1 shall only be used for the purposes permitted in the **R1 R1A(3) Zone**.

12.404.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Lot Area: 605.0 square metres
- .2 Minimum Lot Width: 22.0 metres
- .3 Minimum Lot Depth: 27.5 metres
- .4 Minimum Front Yard Depth:
 - .a from the garage: 6.0 metres
 - .b from the dwelling: 3.0 metres
- .5 Minimum Side Yard Width:
 - .a for a 1 storey dwelling: 1.2 metres
 - .b for a dwelling unit 2 or more storeys: 1.5 metres
- .6 Minimum Rear Yard Depth: 7.6 metres
- .7 Maximum Building Height: 10.0 metres
- .8 Minimum Landscaped Open Space:
 - .a 50 percent of the front yard of an interior lot;
 - .b 60 percent of the front yard of a corner lot; and,
 - .c 40 percent of the front yard where the side lot lines converge towards the front lot lines.

12.405 Exception 405

12.405.1 The lands shall only be used for the following purposes:

- .1 shall only be used for the purposes permitted in the **R1 R1A(3) Zone**.

12.405.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Lot Area:
 - .a for an Interior Lot: 504.0 square metres
 - .b for a Corner Lot: 630.0 square metres
- .2 Minimum Lot Width:
 - .a for an Interior Lot: 18.0 metres
 - .b for a Corner Lot: 21.0 metres
- .3 Minimum Lot Depth: 30.0 metres
- .4 Minimum Front Yard Depth: 6.0 metres
- .5 Minimum Interior Side Yard Width:
 - .a for a 1 storey dwelling: 1.2 metres
 - .b for a 2 storey dwelling: 1.5 metres
- .6 Minimum Exterior Side Yard Width: 3.0 metres
- .7 Minimum Rear Yard Depth: 7.6 metres
- .8 Maximum Building Height: 10.0 metres
- .9 Garage Location: the front of a garage on a corner lot shall not be closer than 6.0 metres to a street lot line.
- .10 Minimum Landscaped Open Space:
 - .a 50 percent of the front yard of an interior lot;
 - .b 60 percent of the front yard of a corner lot; and,
 - .c 40 percent of the front yard where the side lot lines converge towards the front lot lines.

12.406 Exception 406

12.406.1 The lands shall only be used for the following purposes:

.1 shall only be used for the purposes permitted in the **R1A, R1R1B Zone**;

12.406.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Interior Side Yard Width:
 - .a for a 1 storey dwelling: 1.2 metres
 - .b for a 2 or more storey dwelling: 1.5 metres
- .2 Maximum Building Height: 10.0 metres
- .3 Minimum Landscaped Open Space:
 - .a 50 percent of the front yard of an interior lot;
 - .b 60 percent of the front yard of a corner lot; and,
 - .c 40 percent of the front yard where the side lot lines converge towards the front lot lines.

12.407 Exception 407

12.407.1 The lands shall only be used for the following purposes:

- .1 shall only be used for the purposes permitted in the **R1 R1A(3) Zone**.

12.407.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Lot Area: 540.0 square metres
- .2 Minimum Lot Width: 18.0 metres
- .3 Minimum Lot Depth: 30.0 metres
- .4 Minimum Front Yard Depth: 6.0 metres
- .5 Minimum Side Yard Width:
 - .a for a 1 storey dwelling: 1.2 metres
 - .b for 2 or more storey dwelling: 1.5 metres
- .6 Minimum Rear Yard Depth: 10.0 metres
- .7 Maximum Building Height: 10.0 metres
- .8 Minimum Landscaped Open Space:
 - .a 50 percent of the front yard of an interior lot;
 - .b 60 percent of the front yard of a corner lot; and,
 - .c 40 percent of the front yard where the side lot lines converge towards the front lot lines.

12.408. Exception 408

12.408.1 The lands shall only be used for the following purposes:

- .1 Commercial:
 - .a a dining room restaurant;
 - .b a convenience restaurant;
 - .c a convenience restaurant with a drive-through facility;
 - .d a bank, trust company or financial institution;
 - .e a union hall;
 - .f a printing or copying establishment;
 - .g a mail or delivery courier service;
 - .h a personnel service office;
 - .i a mechanical or electrical engineering design office;
 - .j an industrial design studio;
 - .k an industrial photography studio; and,
 - .l an establishment for the sales and service of industrial computers.
 - .m a retail establishment having no outside storage;
 - .n a service shop;
 - .o a personal service shop;
 - .p an office;
 - .q a dry cleaning and laundry distribution station;
 - .r a convenience store;
 - .s a custom workshop; and,
 - .t a health centre.
- .2 Non-Commercial:
 - .a purposes accessory to the other permitted purposes.

12.408.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Lot Width: 116.0 metres

- .2 Minimum Lot Depth: 147.0 metres
- .3 Minimum Lot Area: 2.0 hectares
- .4 Minimum Front Yard Depth: 25.0 metres
- .5 Minimum Interior Side Yard Width: 9.5 metres
- .6 Minimum Exterior Side Yard Width: 25.0 metres
- .7 Minimum Rear Yard Depth: 9.5 metres
- .8 Maximum Number of Main Building: 2
- .9 Minimum Distance Between Main Buildings: 40.0 metres
- .10 Maximum Building Height: 2 storeys
- .11 no storage shall be permitted outside a building.
- .12 a Landscaped Buffer Area shall be provided and maintained adjacent to streets, except at driveway locations in accordance with the following:
 - .a Street Minimum Width
 - .i Williams Parkway 6.0 metres
 - .ii Chrysler Drive 6.0 metres
- .13 one driveway access ramp only shall be permitted to Williams Parkway allowing right turns in and right turns out, and two driveway access ramps only shall be permitted to Renault Boulevard allowing all turning movements.
- .14 accessory buildings or structures are permitted subject to the following:
 - .a accessory buildings shall be used for the purpose of parking motor vehicles, or the storage of garbage; and,
 - .b accessory buildings shall not be permitted in an exterior side yard or front yard.
- .15 a massage parlour, an adult video store or an adult entertainment parlour shall not be permitted.

12.409 Exception 409

12.409.1 The lands shall only be used for the following purposes:

- .1 shall only be used for the purposes permitted in the **R1MR1B Zone**.

12.409.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Lot Area:
 - .a for an Interior Lot: 480.0 square metres
 - .b for a Corner Lot: 545.0 square metres
- .2 Minimum Lot Depth: 32.0 metres
- .3 Minimum Side Yard Width:
 - .a for an exterior side yard:
 - .i 3.0 metres, where the dwelling unit and garage both face the front lot line; and,
 - .ii 3.0 metres for the dwelling unit and 6.0 metres for the garage where the garage faces a side lot line.
 - .b for all other side yards: 1.2 metres for the first storey, plus 0.6 metres for each storey above the first.
- .4 Maximum Building Height: 2 storeys

12.410 Exception 410

12.410.1 The lands shall only be used for the following purposes:

- .1 shall only be used for the purposes permitted in the **R1MR1B Zone**.

12.410.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Lot Area:
 - .a for an Interior Lot: 416.0 square metres
 - .b for a Corner Lot: 448.0 square metres
- .2 Minimum Lot Width:
 - .a for an Interior Lot: 13.0 metres
 - .b for a Corner Lot: 14.0 metres
- .3 Minimum Lot Depth: 32.0 metres
- .4 Minimum Side Yard Width:
 - .a for an exterior side yard:
 - .i 3.0 metres where the dwelling unit and garage both face the front lot line; and,
 - .ii 6.0 metres for the garage and 3.0 metres for the dwelling unit where the garage faces the side lot line.
 - .b for a side yard abutting Lots 57, 58, 59 and 60 **Registered Plan M-202**: 1.2 metres for the first storey plus 0.6 metres for each storey above the first.
 - .c for all other side yards: zero metres provided that:
 - .i the distance between the walls of two dwellings is not less than 1.8 metres;
 - .ii where the distance between the walls of two dwellings is less than 2.4 metres, no window below grade or door below grade is permitted in either wall; and,
 - .iii the total width of side yards on any lot is not less than 1.8 metres.
- .5 Maximum Building Height: 2 storeys

12.412 Exception 412

12.412.1 The lands shall only be used for the following purposes:

.1 [redacted] shall only be used for the purposes permitted in the ~~R2R3B(1)~~ Zone.

12.412.2 The lands shall be subject to the following requirements and restrictions:

.1 Maximum Number of Dwelling Units: 37.0 units per hectare

12.413 Exception 413

12.413.1 The lands shall only be used for the following purposes:

- .1 shall only be used for the purposes permitted in the **HCHG1 Zone**;

12.413.2 The lands shall be subject to the following requirements and restrictions:

- .2 Minimum Front Yard Depth:
 - .a 15.0 metres for a building not exceeding 8.0 metres in height;
 - .b 18.0 metres for a building not exceeding 9.0 metres in height;
 - .c 21.0 metres for a building not exceeding 12.0 metres in height; and,
 - .d 24.0 metres for a building not exceeding 15.0 metres in height.
- .3 Minimum Landscaped Open Space: 50 percent of the front yard area.
- .4 Minimum Street Line Setback: 15.0 metres.
- .5 Minimum Lot Area: 0.2 hectares.
- .6 Minimum Rear Yard Depth: 7.6 metres, except where the rear lot line abuts a railway right-of-way in which case no rear yard shall be required.
- .7 Minimum Side Yard Width: 7.6 metres, except where the side lot line abuts a railway right-of-way, in which case no side yard shall be required.
- .8 Outside Storage: with the exception of motor vehicles, boats, camping equipment, snowmobiles, lawn and garden equipment displayed outdoors for sale, no storage of goods shall be permitted outside a building, except where such storage is confined to the rear yard and not closer than 1.2 metres to any lot line, and is totally enclosed with a solid fence having a minimum height of 1.8 metres and a maximum height of 3.0 metres, provided no fence shall be required in the rear lot line where a rear yard abuts a railway right-of-way.

12.414 Exception 414

12.414.1 The lands shall only be used for the following purposes:

- .1 a gas bar;
- .2 a take-out restaurant;
- .3 a retail establishment having no outside storage;
- .4 a convenience store;
- .5 a personal service shop;
- .6 a dry cleaning and laundry distribution station;
- .7 a bank, trust company, or financial institution;
- .8 a real estate office, and
- .9 purposes accessory to the other permitted purposes.

12.414.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Lot Width: 40.0 metres;
- .2 Minimum Rear Yard Depth: 3.0 metres;
- .3 Maximum Building Height: 7.5 metres;
- .4 a landscaped strip, not less than 3.0 metres in width shall be provided and maintained along the Torbram Road frontage and the Williams Parkway flankage, exclusive of the driveway locations, and along the hypotenuse of the daylighting triangle at the intersection of two streets;
- .5 the floor area devoted to a take-out restaurant shall not exceed 66.0 square metres;
- .6 an amusement arcade shall not be permitted;
- .7 an adult entertainment parlour shall not be permitted, and
- .8 the Maximum Gross Commercial Floor Area to be permitted on the site shall not exceed 815.0 square metres.

12.414.3 for the purposes of **Exception section 414.:**

- .1 Amusement Arcade shall mean any shop, building or place in which amusement devices are installed, placed or operated as the principal trade.

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12.417 Exception 417

12.417.1 The lands shall only be used for the following purposes:

- .1 shall only be used for the purposes permitted in the **R1A Zone**

12.417.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Lot Area: 2160.0 square metres
- .2 Minimum Lot Width: 28.5 metres

12.418 Exception 418

12.418.1 The lands shall only be used for the following purposes:

- .1 shall only be used for an animal hospital.

12.419 Exception 419

12.419.1 The lands shall only be used for the following purposes:

- .1 shall only be used for the purposes permitted in the **R1M, R1AR1C Zone**;

12.419.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Lot Area:
 - .a for an Interior Lot: 352.0 square metres
 - .b for a Corner Lot: 448.0 square metres
- .2 Minimum Lot Width:
 - .a for an Interior Lot: 11.0 metres
 - .b for a Corner Lot: 14.0 metres
- .3 Minimum Lot Depth: 32.0 metres
- .4 Minimum Front Yard Depth:
 - .a to the main wall of the building: 4.5 metres
 - .b to the front of a garage or carport: 6.0 metres
- .5 Minimum Side Yard Width:
 - .a for an exterior side yard:
 - .i 3.0 metres, where the dwelling unit and garage both face the front lot line; and,
 - .ii 3.0 metres for the dwelling unit and 6.0 metres for the garage where the garage faces a side lot line.
 - .b for a side yard flanking a public walkway or lands zoned Open Space (OS): 1.2 metres, plus 0.6 metres for each additional storey above the first.
 - .c for a side yard abutting Bovaird Drive or Highway Number 410, or a reserve abutting these roads: 13.7 metres
 - .d for other side yards: zero metres, provided that:
 - .i the distance between the walls of two dwellings is not less than 1.8 metres;
 - .ii where the distance between the walls of two dwellings is less than 2.4 metres, no window below grade or door below grade is permitted in either wall; and,
 - .iii the total width of the side yards on any lot is not less than 1.8 metres.

- .6 Minimum Rear Yard Depth: 7.6 metres, except where the rear yard abuts Bovaird Drive or Highway Number 410 or a reserve abutting these roads, in which case the minimum requirements is 13.7 metres.
- .7 Maximum Building Height: 2 storeys
- .8 Minimum Front Yard Landscaped Open Space: 40 percent of the front yard area of an interior lot, 50 percent of the front yard of a corner lot, and 30 percent of the front yard area of a lot where the side lot lines converge towards the front yard lot line.

12.420 Exception 420

12.420.1 The lands shall only be used for the following purposes:

- .1 shall only be used for the purposes permitted in the **R1M, R1AR1D Zone.**

12.420.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Lot Area:
 - .a for an Interior Lot: 288.0 square metres
 - .b for a Corner Lot: 384.0 square metres
- .2 Minimum Lot Depth: 32.0 metres
- .3 Minimum Front Yard Depth:
 - .a to the main wall of the building: 4.5 metres
 - .b to the front of a garage or carport: 6.0 metres
- .4 Minimum Side Yard Width:
 - .a for an exterior side yard:
 - .i 3.0 metres, where the dwelling unit and garage both face the front lot line; and,
 - .ii 3.0 metres for the dwelling unit and 6.0 metres for the garage where the garage faces a side lot line.
 - .b for a side yard flanking a public walkway or lands zoned Open Space (OS): 1.2 metres, plus 0.6 metres for each additional storey above the first.
 - .c for a side yard abutting Bovaird Drive on Highway Number 410, or a reserve abutting these roads: 13.7 metres
 - .d or other side yards: zero metres, provided that:
 - .i the distance between the walls of two dwellings is not less than 1.8 metres
 - .ii where the distance between the walls of two dwellings is less than 2.4 metres, no window below grade, or door below grade is permitted in either wall; and,
 - .iii the total width of side yards on any lot is not less than 1.8 metres.
- .5 Minimum Rear Yard Depth: 7.6 meters, except where the rear yard abuts Bovaird Drive or Highway Number 410 or a reserve abutting these roads in which case the minimum requirement is 13.7 metres.
- .6 Maximum Building Height: 2 storeys

12.421 Exception 421

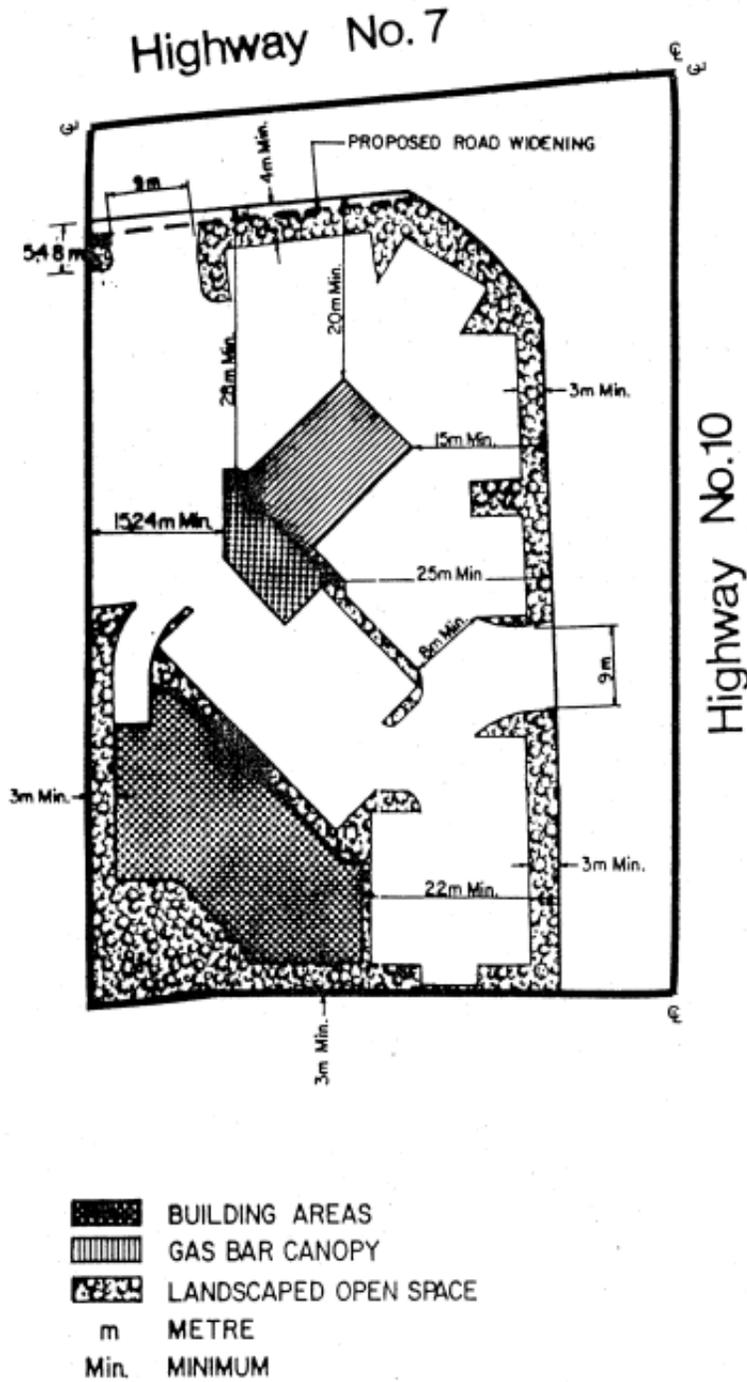
12.421.1 The lands shall only be used for the following purposes:

- .1 a gas bar;
- .2 only in conjunction with a gas bar, a convenience store;
- .3 a convenience restaurant; - a dry cleaning and laundry distribution station or a dry cleaning and laundry establishment;
- .4 an office other than an office for a health care practitioner;
- .5 a printing and copying establishment; - a tool and equipment rental establishment;
- .6 a rental and service establishment; and,
- .7 purposes accessory to the other permitted purposes.

12.421.2 The lands shall be subject to the following requirements and restrictions:

- .1 all buildings shall be located within the areas shown on **Figure 1**;
- .2 Landscaped Open Space shall be provided and maintained in the area shown as LANDSCAPED OPEN SPACE on **Figure 1** ~~SCCHEDULE C – SECTION 421~~;
- .3 the Gross Commercial Floor Area of all structures, with the exception of the gas bar canopy shall not exceed 600.0 square metres;
- .4 the Gross Commercial Floor Area devoted to a convenience store shall not exceed 95.0 square metres;
- .5 the Gross Commercial Floor Area devoted to a convenience restaurant shall not exceed 180.0 square metres;
- .6 the area covered by a gas bar canopy shall not exceed 190.0 square metres and shall be located within the area shown as GAS BAR CANOPY on **Figure 1** ~~SCCHEDULE C – SECTION 421~~;
- .7 the Maximum Height of all structures shall not exceed 1 storey; - an adult entertainment parlour shall not be permitted; and,
- .8 all garbage and refuse storage containers shall be located within the southerly structure on the site.

Figure 1



— ZONE BOUNDARY

12.422 Exception 422

12.422.1 The lands shall only be used for the following purposes:

- .1 purposes permitted in **PEM1 Zone**;
- .2 a service station;
- .3 a gas bar;
- .4 only in conjunction with a gas bar, a retail establishment having no outside storage;
- .5 a bank, trust company, finance company;
- .6 a dining room restaurant; a convenience restaurant; a take-out restaurant;
- .7 a motor vehicle repair shop, and
- .8 purposes accessory to the other permitted purposes.

12.426 Exception 426

12.426.1 The lands shall only be used for the following purposes:

- .1 Residential:
 - .a single detached dwellings;
 - .b semi-detached dwellings;
 - .c a group home; and,
 - .d an auxiliary group home.
- .2 Non-Residential:
 - .a a home occupation; and,
 - .b purposes accessory to the other permitted purposes.

12.426.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Lot Area:
 - .a for a Single Detached Dwelling: 435.0 square metres
 - .b for a Semi-Detached Dwelling: 870.0 square metres per lot and 435.0 square metres per dwelling unit.
- .2 Minimum Lot Width:
 - .a for a Single Detached Dwelling: 9.2 metres
 - .b for a Semi-Detached Dwelling: 18.4 metres, and 9.2 metres per dwelling unit.
- .3 Minimum Lot Depth: 45.0 metres
- .4 Minimum Front Yard Depth: 6.0 metres
- .5 Minimum Rear Yard Depth: 7.6 metres
- .6 Minimum Side Yard Width:
 - .a for a Single Detached Dwelling:
 - .i 1.2 metres on one side and 0.9 metres on the other side;
 - .ii the minimum distance between detached dwellings shall not be less than 2.1 metres;
 - .iii the width of the side yard abutting a walkway, or park shall not be less than 1.5 metres; and,

- .iv where the distance between the walls of two dwellings is less than 2.4 metres, no door or window below grade will be permitted in any such wall.
- .b for a Semi-Detached Dwelling:
 - .i the minimum distance between two semi-detached dwelling units of a semi-detached dwelling shall be 1.2 metres except that where the common wall of semi-detached dwelling units coincides with a side lot line, the side yard may be 0 metres;
 - .ii the minimum distance between two semi-detached dwellings or between a semi-detached dwelling and a single detached dwelling shall not be less than 2.1 metres;
 - .iii the width of the side yard abutting a walkway, or park shall not be less than 1.5 metres; and,
 - .iv where the distance between the walls of two semi-detached dwellings and a single detached dwelling, or of two dwelling units of a semi-detached dwelling is less than 2.4 metres, no door or window below grade will be permitted in any such wall.
- .7 Maximum Building Height: 2 storeys
- .8 Minimum Landscaped Open Space:
 - .a 40 percent of the front yard of an interior lot;
 - .b 50 percent of the front yard of a corner lot; and,
 - .c 30 percent of the front yard where the side lot lines converge towards the front lot line.

12.427 Exception 427

12.427.1 The lands shall only be used for the following purposes:

- .1 Residential:
 - .a single detached dwelling; and,
 - .b a group home or auxiliary group home.
- .2 Non-Residential:
 - .a a home occupation.

12.427.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Lot Area:
 - .a for an Interior Lot: 735.0 square metres
 - .b for a Corner Lot: 825.0 square metres
- .2 Minimum Lot Width:
 - .a for an Interior Lot: 21.0 metres
 - .b for a Corner Lot: 24.0 metres
- .3 Minimum Lot Depth: 33.5 metres
- .4 Minimum Side Yard Width:
 - .a for a One Storey Dwelling: 1.2 metres
 - .b for a Two or More Storey Dwelling: 1.5 metres
- .5 Maximum Building Height: 10.0 metres
- .6 Garage Location: the front of a garage on a corner lot shall not be closer than 6.0 metres to a street lot line as projected.
- .7 Minimum Landscaped Open Space:
 - .a 50 percent of the front yard of an interior lot;
 - .b 60 percent of the front yard of a corner lot; and,
 - .c 40 percent of the front yard where the side lot lines converge towards the front lot lines.

12.428 Exception 428

12.428.1 The lands shall only be used for the following purposes:

- .1 Residential:
 - .a single detached dwelling; and,
 - .b a group home or auxiliary group home.
- .2 Non-Residential:
 - .a a home occupation; and,
 - .b purposes accessory to the other permitted purposes.

12.428.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Lot Area: 735.0 square metres
- .2 Minimum Lot Width: 21.0 metres
- .3 Minimum Lot Depth: 35.0 metres
- .4 Minimum Front Yard Depth: 6.0 metres
- .5 Minimum Interior Side Yard Width:
 - .a for a One Storey Dwelling: 1.2 metres
 - .b for a Two or More Storey Dwelling: 1.5 metres
- .6 Minimum Rear Yard Depth: 7.6 metres
- .7 a distance of 10.0 metres shall be maintained between any building or structure and the lot line separating the lot from land zoned by the Toronto and Region Conservation Authority abutting the valley of the Etobicoke Creek.
- .8 Maximum Building Height: 10.0 metres
- .9 Minimum Landscaped Open Space:
 - .a 50 percent of the front yard of an interior lot;
 - .b 60 percent of the front yard of a corner lot; and,
 - .c 40 percent of the front yard where the side lot lines converge towards the front lot lines.

12.429 Exception 429

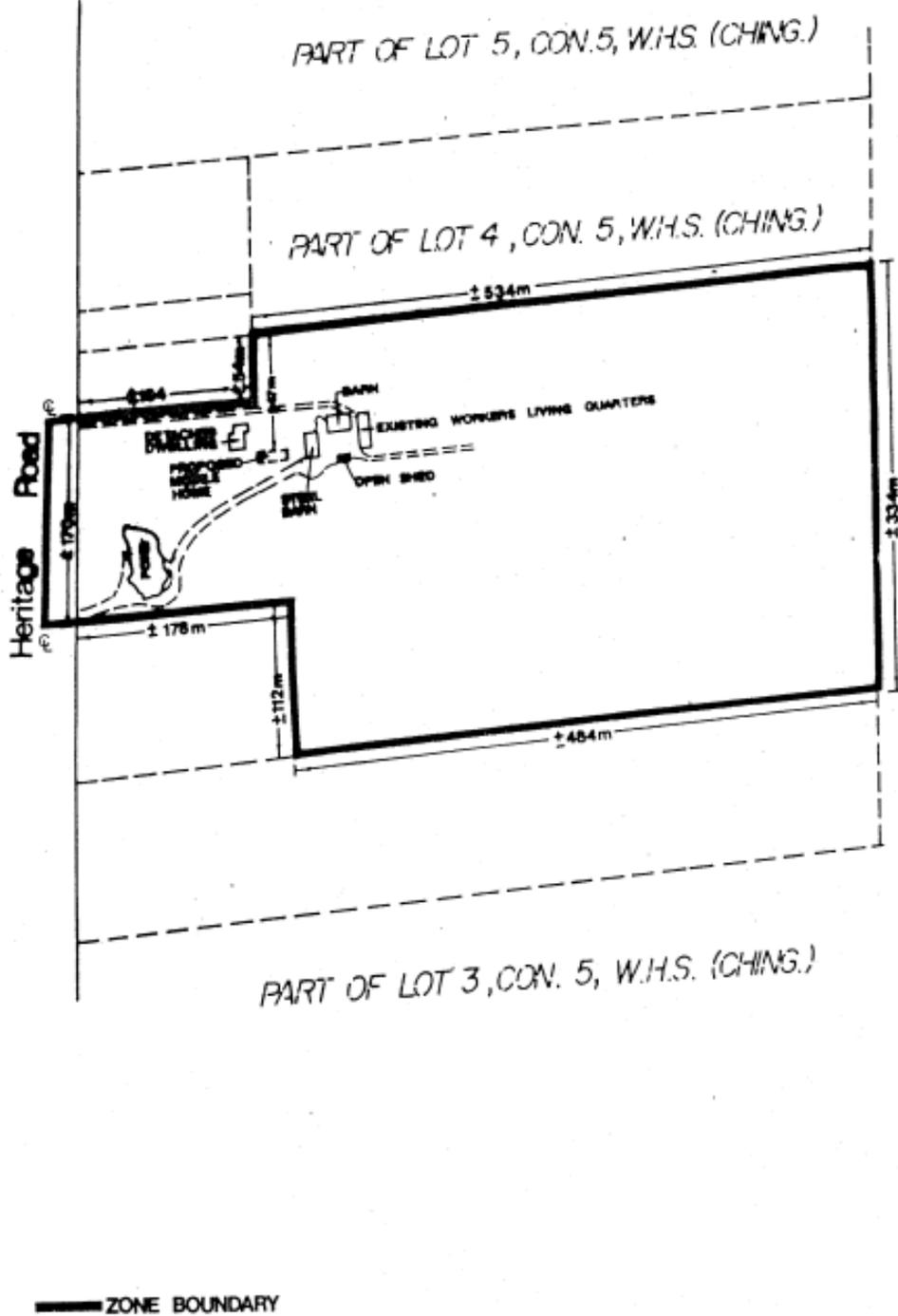
12.429.1 The lands shall only be used for the following purposes:

- .1 one single detached dwelling;
- .2 one mobile home to be occupied by persons employed as farm workers;
- .3 one permanent farm workers living quarters;
- .4 agricultural purposes; and,
- .5 purposes accessory to the other permitted purposes.

12.429.2 The lands shall be subject to the following requirements and restrictions:

- .1 the single detached dwelling, the mobile home, the farm workers living quarters and accessory buildings shall be located as shown on **SCHEDULE C – SECTION 429 Figure 1.**

Figure 1



12.430 Exception 430

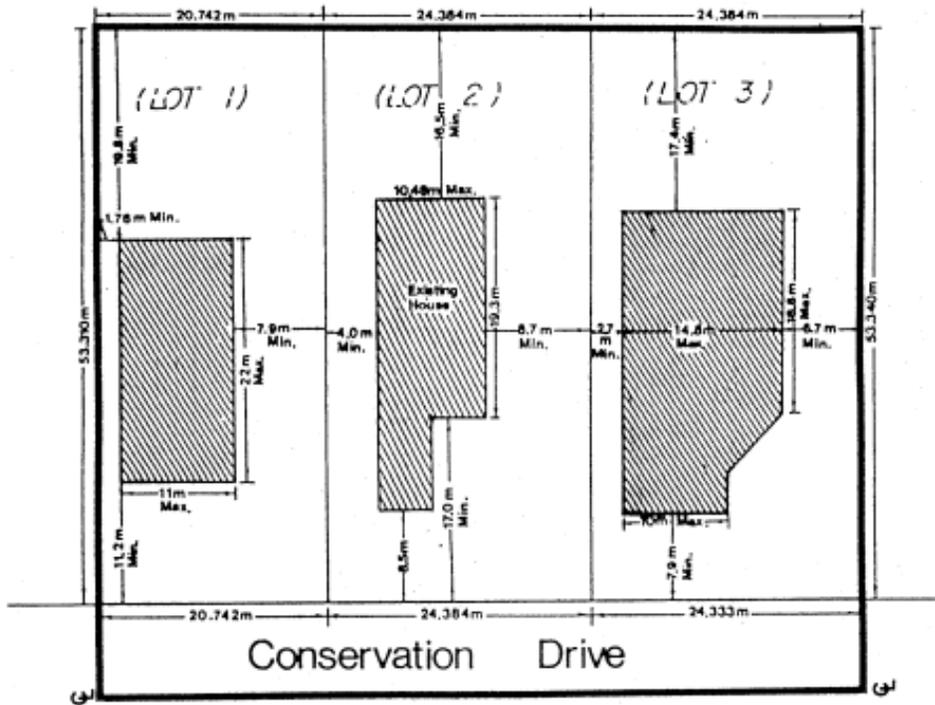
12.430.1 The lands shall only be used for the following purposes:

- .1 shall only be used for the purposes permitted in the **R1R1A Zone**.

12.430.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Lot Width:
 - .a for Lot 1 as shown on **SCHEDULE C – SECTION 430 Figure 1**: 20.0 metres
 - .b for Lots 2 and 3 as shown on **Figure 1 SCHEDULE C – SECTION 430**: 24 metres
- .2 Minimum Lot Depth: 53.0 metres
- .3 Minimum Lot Area:
 - .a for Lot 1 as shown on **Figure 1 SCHEDULE C – SECTION 430**: 1060.0 square metres;
 - .b for Lot 2 and 3 as shown on **Figure 1 SCHEDULE C – SECTION 430**: 1250.0 square metres.
- .4 the minimum front yard depth, side yard widths and rear yard depths for a residential dwelling and garage/carport for each lot shall be as shown on **Figure 1 SCHEDULE C – SECTION 430**.

Figure 1



LEGEND

-  Building Area
-  Minimum
-  Maximum
-  Metres

 ZONE BOUNDARY

12.431 Exception 431

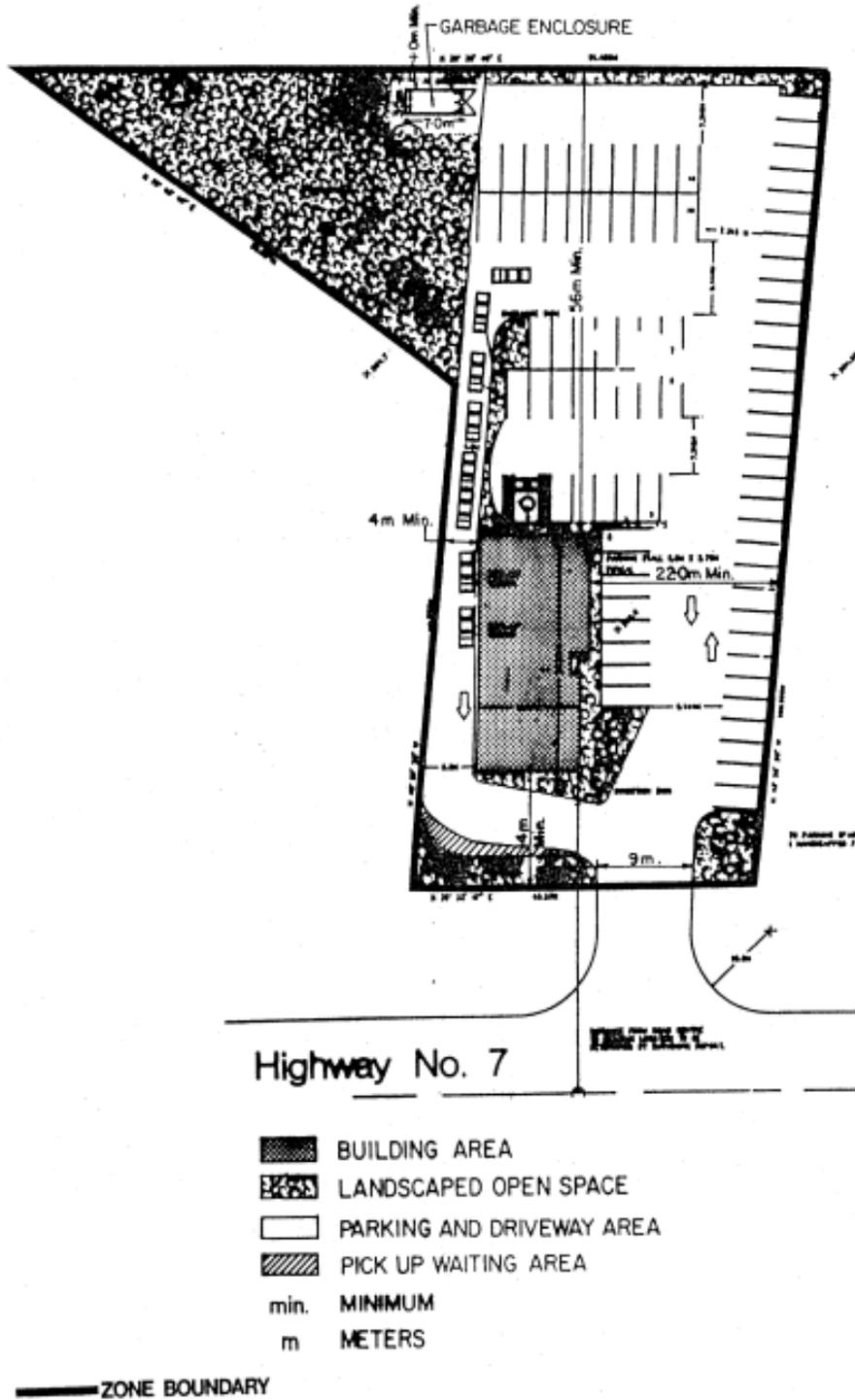
12.431.1 The lands shall only be used for the following purposes:

- .1 a convenience restaurant with drive-through facilities; and,
- .2 purposes accessory to the other permitted purposes.

12.431.2 The lands shall be subject to the following requirements and restrictions:

- .3 all buildings shall be located within the area shown as BUILDING AREA on ~~Figure 1 SCHEDULE C-SECTION 431~~;
- .4 the minimum depth of front and rear yards, and the minimum width of side yards, shall be as shown on ~~Figure 1 SCHEDULE C-SECTION 431~~;
- .5 the building shall not exceed a height of one storey;
- .6 Landscaped Open Space shall be provided and maintained in the locations shown as LANDSCAPED OPEN SPACE on ~~Figure 1 SCHEDULE C-SECTION 431~~; and,
- .7 all required parking spaces shall be located within the area shown as PARKING AND DRIVEWAY AREA on ~~Figure 1 SCHEDULE C-SECTION 431~~.

Figure 1



12.432 Exception 432

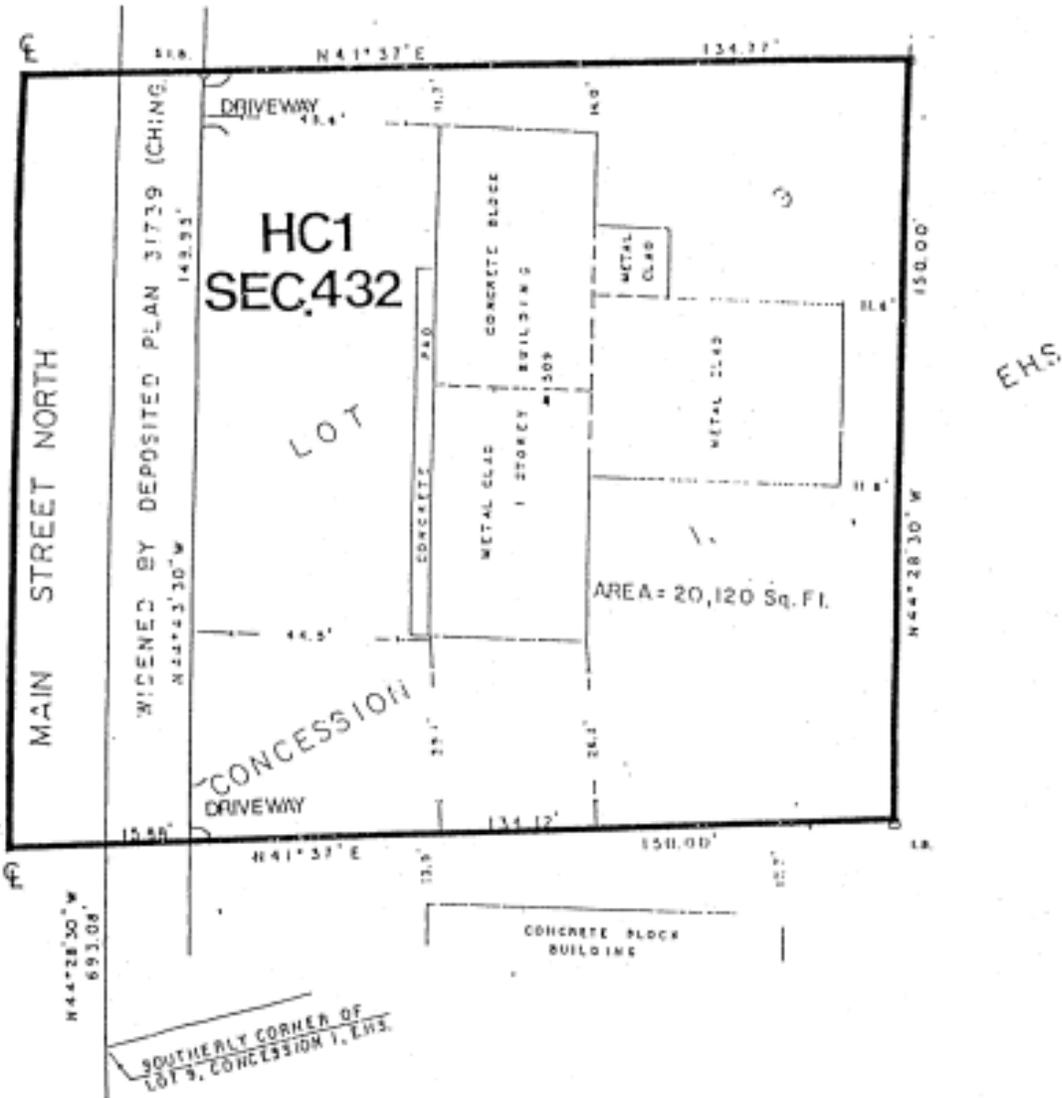
12.432.1 The lands shall only be used for the following purposes:

- .1 a motor vehicle or boat sales, rental, leasing or service establishment, a motor vehicle repair shop, and a motor vehicle or boat parts and accessories sales establishment; and,
- .2 only in conjunction with a motor vehicle sales, rental leasing or service establishment, a motor vehicle body shop.

12.432.2 The lands shall be subject to the following requirements and restrictions:

- .1 all buildings and structures shall be located within the areas shown on ~~SCHEDULE C – SECTION 432~~ **Figure 1**; and,
- .2 the minimum depth of front and rear yards, and the minimum width of side yards shall be as shown on **Figure 1** ~~SCHEDULE C – SECTION 432~~.

Figure 1



12.433 Exception 433

12.433.1 The lands shall only be used for the following purposes:

- .1 a motor vehicle or boat sales, rental, leasing or service establishment, a motor vehicle repair shop, and a motor vehicle or boat parts and accessories sales establishment;
- .2 only in conjunction with a motor vehicle sales, rental, leasing or service establishment, a motor vehicle body shop;
- .3 the purposes permitted in the **GEM2 Zone**;
- .4 a service station;
- .5 a bank, trust company, finance company; and,
- .6 a dining room restaurant, a convenience restaurant, and a take-out restaurant.

12.434 Exception 434

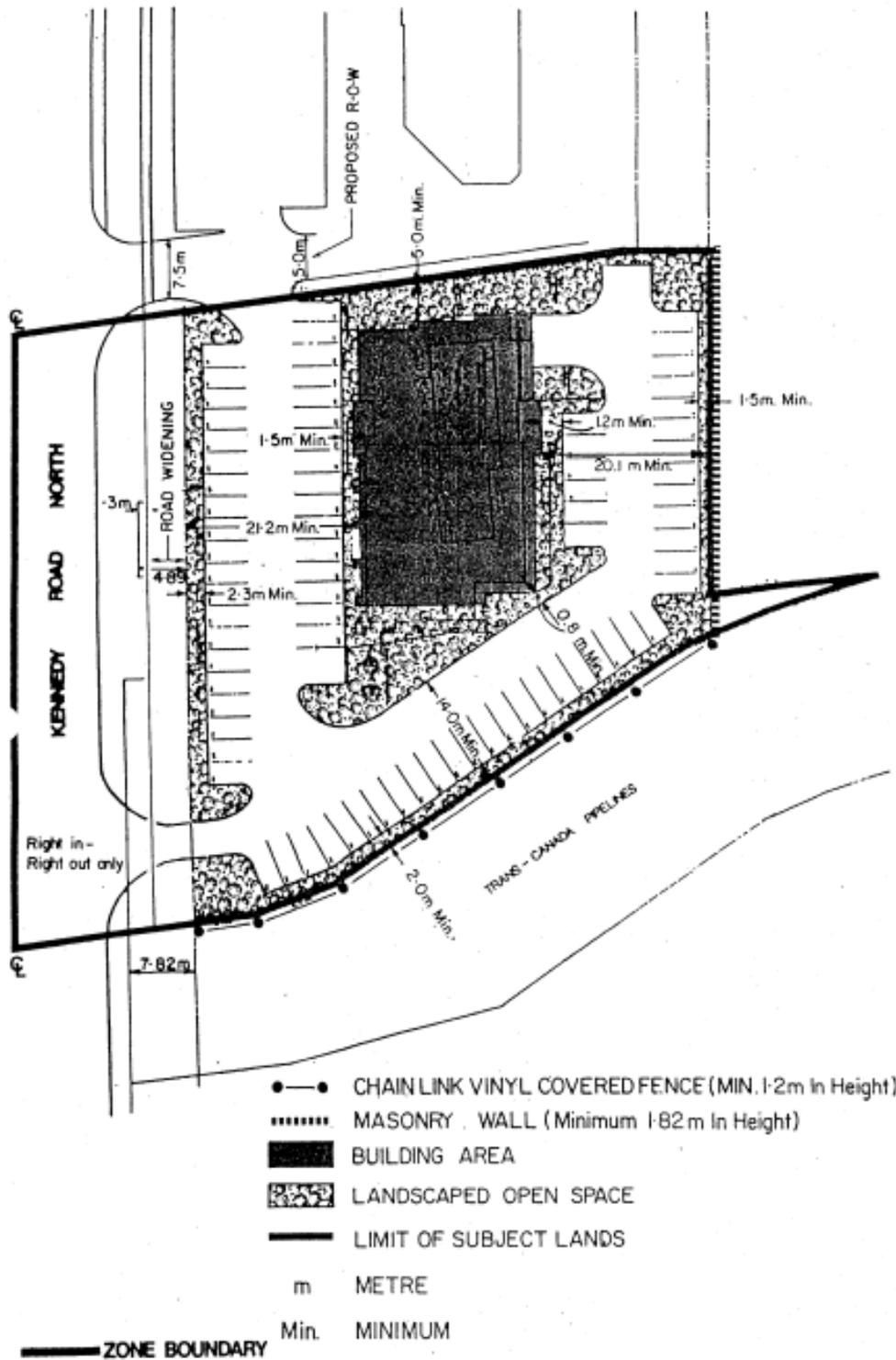
12.434.1 The lands shall only be used for the following purposes:

- .1 one fruit and vegetable retail market;
- .2 general offices, including a real estate office;
- .3 medical, dental and drugless practitioner's offices; and,
- .4 purposes accessory to the other permitted purposes.

12.434.2 The lands shall be subject to the following requirements and restrictions:

- .1 the Maximum Ground Floor Area of all buildings and structures shall not exceed 818.0 square metres;
- .2 the Maximum Building Height shall not exceed 2 storeys;
- .3 the Minimum Lot Depth shall be 67 metres;
- .4 the Minimum Lot Width shall be 76 metres;
- .5 the Minimum Lot Area shall be 0.5 hectares;
- .6 the minimum front yard depth, rear yard depth, side yard width shall be as shown on ~~SCHEDULE~~
~~SECTION 434~~ Figure 1; and,
- .7 a masonry wall shall have a minimum height of 1.82 metres and shall be located as shown on Figure 1 ~~SCHEDULE C~~ ~~SECTION 434~~.

Figure 1



12.435 Exception 435

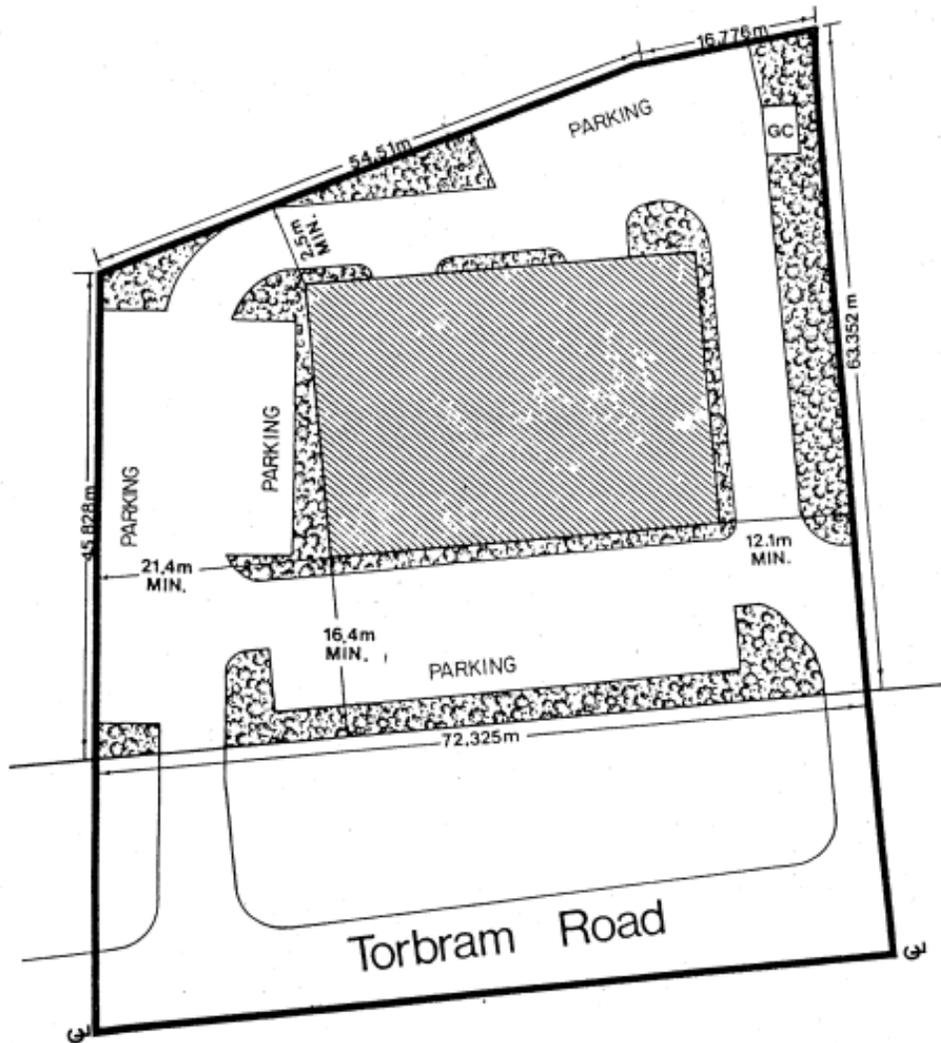
12.435.1 The lands shall only be used for the following purposes:

- .1 offices, excluding health care practitioners and real estate;
- .2 a bank;
- .3 a stationery supply establishment;
- .4 a printing and copying establishment;
- .5 sale and rental of business equipment and services;
- .6 repair and servicing of business equipment; and,
- .7 purposes accessory to the other permitted purposes.

12.435.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Lot Width: 71.3 metres
- .2 Minimum Lot Depth: 54.8 metres
- .3 Minimum Lot Area: 3,900 square metres
- .4 all buildings shall be located within the area shown as BUILDING AREA on ~~SCHEDULE C-SECTION 435~~ **Figure 1**;
- .5 minimum front yard depth, side yard width and rear yard depth shall be as shown on ~~Figure 1~~ **SCHEDULE C-SECTION 435**;
- .6 Landscaped Open Space shall be provided and maintained in the areas shown as LANDSCAPED OPEN SPACE on ~~Figure 1~~ **SCHEDULE C-SECTION 435**;
- .7 the Gross Commercial Floor Area of all buildings and structures shall not exceed 1980 square metres;
- .8 the Maximum Coverage shall not exceed 26 percent;
- .9 the Maximum Height of all buildings shall not exceed 2 storeys at the front yard elevation and shall not exceed 3 storeys at the rear yard elevation; and,
- .10 all garbage and refuse storage containers shall be located within the area shown as GARBAGE ENCLOSURE AREA on ~~Figure 1~~ **SCHEDULE C-SECTION 435**;

Figure 1



LEGEND

-  BUILDING AREA
-  GARBAGE ENCLOSURE AREA
-  LANDSCAPED OPEN SPACE
-  METRE
-  MINIMUM
-  ZONE BOUNDARY

12.436 Exception 436

12.436.1 The lands shall only be used for the following purposes:

- .1 shall only be used for the purposes permitted in the R1A Zone.

12.436.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Lot Area: 1200 square metres
- .2 Minimum Lot Width: 21.0 metres
- .3 Minimum Lot Depth: 31.0 metres
- .4 Minimum Front Yard Depth:
 - .a from the garage: 6.0 metres
 - .b from the dwelling: 3.0 metres
- .5 Minimum Interior Side Yard Width:
 - .a for a 1 storey dwelling: 1.2 metres
 - .b for a 2 or more storey dwelling: 1.5 metres
- .6 Minimum Exterior Side Yard Width: 3.0 metres
- .7 Minimum Rear Yard Depth: 7.6 metres
- .8 Maximum Building Height: 10.0 metres
- .9 Garage Location: the front of a garage on a corner lot shall not be closer than 6.0 metres to a street lot line.
- .10 Minimum Landscaped Open Space: 60 percent of the front yard of a corner lot and 40 percent of the front yard where the side lot lines converge towards the front lot lines.

12.437 Exception 437

12.437.1 The lands shall only be used for the following purposes:

- .1 shall only be used for the purposes permitted in the **R1R1A Zone**.

12.437.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Lot Area:
 - .a for an Interior Lot: 750.0 square metres
 - .b for a Corner Lot: 825.0 square metres
- .2 Minimum Lot Width:
 - .a for an Interior Lot: 24.0 metres
 - .b for a Corner Lot: 27.0 metres
- .3 Minimum Lot Depth: 31.0 metres
- .4 Minimum Front yard Depth: 6.0 metres
- .5 Minimum Interior Side Yard Width:
 - .a for a 1 storey dwelling: 1.2 metres
 - .b for a 2 or more storey dwelling: 1.5 metres
- .6 Minimum Exterior Side Yard Width: 3.0 metres
- .7 Minimum Rear Yard Depth: 7.6 metres
- .8 Maximum Building Height: 10.0 metres
- .9 Garage Location: the front of a garage on a corner lot shall not be closer than 6.0 metres to a street lot line.
- .10 Minimum Landscaped Open Space: 50 percent of the front yard of an interior lot, 60 percent of the front yard of a corner lot and 40 percent of the front yard where the side lot lines converge towards the front lot lines.

12.438 Exception 438

12.438.1 The lands shall only be used for the following purposes:

- .1 shall only be used for the purposes permitted in the **R1R1A Zone**.

12.438.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Lot Area:
 - .a for an Interior Lot: 780.0 square metres
 - .b for a Corner Lot: 950.0 square metres
- .2 Minimum Lot Width:
 - .a for an Interior Lot: 20.0 metres
 - .b for a Corner Lot: 22.5 metres
- .3 Minimum Lot Depth: 39.0 metres
- .4 Minimum Front Yard Depth: 6.0 metres
- .5 Minimum Interior Side Yard Width:
 - .a for a 1 storey dwelling: 1.2 metres
 - .b for a 2 storey or more storey dwelling: 1.5 metres
- .6 Minimum Exterior Side Yard Width: 3.0 metres
- .7 Minimum Rear Yard Depth: 7.6 metres
- .8 Maximum Building Height: 10.0 metres
- .9 Garage Location: the front of a garage on a corner lot shall not be closer than 6.0 metres to a street lot line.
- .10 Minimum Landscaped Open Space: 50 percent of the front yard of an interior lot, 60 percent of the front yard of a corner lot and 40 percent of the front yard where the side lot lines converge towards the front lot lines.

12.439 Exception 439

12.439.1 The lands shall only be used for the following purposes:

- .1 shall only be used for the purposes permitted in the **R1R1A Zone**.

12.439.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Lot Area: 800.0 square metres
- .2 Minimum Lot Width: 22.0 metres
- .3 Minimum Lot Depth: 36.0 metres
- .4 Minimum Front Yard Depth:
 - .a from the garage: 6.0 metres
 - .b from the dwelling: 3.0 metres
- .5 Minimum Side Yard Width:
 - .a for a 1 storey dwelling: 1.2 metres
 - .b for a 2 or more storey dwelling: 1.5 metres
- .6 Minimum Rear Yard Depth: 7.6 metres
- .7 Maximum Building Height: 10.0 metres
- .8 Minimum Landscaped Open Space: 50 percent of the front yard and 40 percent of the front yard, where the side lot lines converge towards the front lot lines.

12.440 Exception 440

12.440.1 The lands shall only be used for the following purposes:

- .1 shall only be used for the purposes permitted in the **R1R1A Zone**.

12.440.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Lot Area: 700.0 square metres
- .2 Minimum Lot Width: 20.0 metres
- .3 Minimum Lot Depth: 34.0 metres
- .4 Minimum Front Yard Depth: 6.0 metres
- .5 Minimum Interior Side Yard Width:
 - .a for a 1 storey dwelling: 1.2 metres
 - .b for a 2 or more storey dwelling: 1.5 metres
- .6 Minimum Rear Yard Depth: 7.6 metres, provided that a distance of 10.0 metres shall be maintained between any building or structure and the lot line separating the lot from land owned by the Toronto and Region Conservation Authority abutting the valley of the Etobicoke Creek.
- .7 Maximum Building Height: 10.0 metres
- .8 Minimum Landscaped Open Space: 50 percent of the front yard and 40 percent of the front yard where the side lot lines converge towards the front lot lines.

12.441 Exception 441

12.441.1 The lands shall only be used for the following purposes:

- .1 shall only be used for the purposes permitted in the **R1R1A Zone**.

12.441.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Lot Area:
 - .a for an Interior Lot: 725.0 square metres
 - .b for a Corner Lot: 850.0 square metres
- .2 Minimum Lot Width:
 - .a for an Interior Lot: 20.0 metres
 - .b for a Corner Lot: 23.5 metres
- .3 Minimum Lot Depth: 36.0 metres
- .4 Minimum Front Yard Depth: 6.0 metres
- .5 Minimum Interior Side Yard Width:
 - .a for a 1 storey dwelling: 1.2 metres
 - .b for a 2 or more storey dwelling: 1.5 metres
- .6 Minimum Exterior Side Yard Width: 3.0 metres
- .7 Minimum Rear Yard Depth: 7.6 metres
- .8 Maximum Building Height: 10.0 metres
- .9 Garage Location: the front of a garage on a corner lot shall not be closer than 6.0 metres to a street lot line.
- .10 Minimum Landscaped Open Space: 50 percent of the front yard of an interior lot, 60 percent of the front yard of a corner lot and 40 percent of the front yard where the side lot lines converge towards the front lot line.

12.442 Exception 442

12.442.1 The lands shall only be used for the following purposes:

- .1 a retail establishment;
- .2 a convenience restaurant;
- .3 a take-out restaurant;
- .4 a personal service shop;
- .5 a financial institution;
- .6 a dry cleaning and laundry distribution station;
- .7 offices;
- .8 a parking lot; and,
- .9 purposes accessory to the other permitted purposes.

12.442.2 The lands shall be subject to the following requirements and restrictions:

- .1 Maximum Lot Area: 0.55 hectares
- .2 Minimum Front Yard Depth: 10.0 metres
- .3 Minimum Building Setback:
 - .a from a Road Allowance: 14.0 metres
 - .b from a Residential Zone: 9.0 metres
- .4 Maximum Building Height 1 storey
- .5 Minimum Landscaped Open Space Width:
 - .a flanking a Road Allowance: 3.0 metres
 - .b abutting a Residential Zone: 3.0 metres
- .6 a masonry wall, 1.8 metres in height, shall be erected along the lot lines which abut a residential zone;
- .7 garbage and refuse containers shall be totally enclosed and shall not be located closer than 9.0 metres to any Residential Zone;
- .8 no outside storage of goods shall be permitted; and,
- .9 no amusement devices shall be permitted.

12.443 Exception 443

12.443.1 The lands shall only be used for the following purposes:

- .1 shall only be used for the purposes permitted in the **R1MR1C Zone**.

12.443.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Lot Area:
 - .a for an Interior Lot: 368.0 square metres
 - .b for a Corner Lot: 476.0 square metres
- .2 Minimum Lot Width:
 - .a for an Interior Lot: 11.0 metres
 - .b for a Corner Lot: 14.0 metres
- .3 Minimum Lot Depth: 33.5 metres
- .4 Minimum Front Yard Depth:
 - .a to the main wall of the building: 4.5 metres
 - .b to the front of a garage or carport: 6.0 metres
- .5 Minimum Side Yard Width:
 - .a for a side yard flanking a road allowance:
 - 3.0 metres where the dwelling unit and garage both face the front lot line; and,
 - 3.0 metres for the dwelling unit and 6.0 metres for the garage where the garage faces a side lot line.
- .6 for a side yard flanking a public walkway or lands zoned Open Space (OS): 1.2 metres, plus 0.6 metres for each additional storey above the first.
 - .a for a side yard abutting a **R1B**
 - .b for other side yards: 0 metres, provided that:
 - .i the distance between the walls of two dwellings is not less than 1.8 metres;
 - .ii where the distance between the walls of two dwellings is less than 2.4 metres, no window below grade or door below grade is permitted in either wall; and,
 - .iii the total width of side yards on any lot is not less than 1.8 metres.
- .7 Minimum Rear Yard Depth: 7.6 metres.

- .a Permitted Yard Encroachments:
 - .i every part of any required yard shall be open and unobstructed from the ground to the sky by any structure, except for unenclosed porches, sills, belt courses, cornices, eaves or gutters, which may project into any required yard the lesser of 45 centimetres or 50 percent of any required yard; and,
 - .ii chimneys and pilasters may project into any required yard the lesser of 61 centimetres or 50 percent of any required yard.
- .8 Maximum Building Height: 2 storeys.
- .9 Minimum Landscaped Open Spaces: 40 percent of the front yard area of an interior lot, 50 percent of the front yard area of a corner lot, and 30 percent of the front yard area of a lot where the side lot lines converge towards the front yard lot line.

12.444 Exception —444

12.444.1 The lands shall only be used for the following purposes:

- .1 the uses permitted in the **HCHC1 Zone**;
- .2 a personal service shop;
- .3 a dry cleaning and laundry distribution station;
- .4 a bank, trust company or finance company; and,
- .5 an office, excluding those for health care practitioners.

12.450 Exception 450

12.450.1 The lands shall only be used for the following purposes:

- .1 shall be used for the purposes permitted by **PEM4A Zone** and a takout and convenience restaurant.

12.453 Exception 453

12.453.1 The lands shall only be used for the following purposes:

- .1 nursery and craft store with associated outdoor garden sales area;
- .2 an office, excluding office of a doctor, dentist or drugless practitioner;
- .3 a printing or copying establishment;
- .4 a dining room restaurant or convenience restaurant;
- .5 retail establishment;
- .6 personal service shop, and
- .7 purposes accessory to the other permitted purposes.

12.453.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Lot Frontage: 90 metres;
- .2 Minimum Front Yard Depth: 18.3 metres;
- .3 the outdoor storage area, as an accessory purpose of an equipment rental establishment, shall be enclosed by a visual screen fence not less than 2.0 metres high;
- .4 Landscaped Open Space shall be provided and maintained not less than 5.5 metres in width across the frontage, except for a driveway access;
- .5 the outdoor garden sales area shall be located only at the westerly 70 metres of the lot;
- .6 the Maximum Gross Commercial Floor Area of all structures shall not exceed 4,275 square metres, and
- .7 the Maximum Height of all buildings and structures shall not exceed one (1) storey.

12.454 Exception 454

12.454.1 The lands shall only be used for the following purposes:

- .1 Commercial:
 - .a a motel;
 - .b a retail establishment having no outside storage;
 - .c a service shop;
 - .d an office;
 - .e a dry cleaning and laundry distribution station;
 - .f a laundromat;
 - .g a dining room restaurant, a convenience restaurant, a take-out restaurant;
 - .h a printing or copying establishment;
 - .i a community club;
 - .j a health centre;
 - .k a tool and equipment rental establishment;
- .2 Non-Commercial:
 - .a a day nursery;
- .3 Residential:
 - .a an apartment dwelling;
- .4 purposes accessory to the other permitted purposes.

12.454.2 The lands shall be subject to the following requirements and restrictions:

- .1 Maximum Gross Floor Area for Motel: 740 square metres
- .2 Minimum Landscaped Open Space:
 - .a 3 metres adjacent to a residential or open space zone
 - .b 5 metres adjacent to Bovaird Drive (Regional Road 107), except at approved access points.
- .3 Maximum Building Height for a commercial use: 2 storeys
- .4 Maximum Height for an apartment dwelling: 5 storeys
- .5 Minimum Lot Area Per Dwelling Unit for an apartment dwelling: 67.0 square metres

- .a a drive-through lane shall be no closer than 15 metres to a residential zone
- .b a ramp for underground parking shall be no closer than 10 metres to a residential zone
- .6 Maximum Number of Apartment Units: 125
- .7 Maximum Size of a Dwelling Unit: 92.9 square metres
- .8 Minimum Number of Parking Spaces for an apartment dwelling: 1.1 spaces per unit.
- .9 Minimum Building Setback:
 - .a 15 metres to a residential zone
 - .b 10 metres to an open space zone
 - .c 8 metres between a commercial building and an apartment dwelling
- .10 no outside storage is permitted
- .11 notwithstanding any other provision of the zoning by-law to the contrary, the entire lands zoned **HCHC1-ExceptionSection 454** shall be treated as a single lot for zoning purposes.

12.456 Exception 456

12.456.1 The lands shall only be used for the following purposes:

- .1 for Lot 1 as identified on [Figure 1](#) ~~Schedule C – SECTION 456~~:
 - .a shall only be used for office purposes and purposes accessory thereto
- .2 for Lot 2 as identified on [Figure 1](#) ~~Schedule C – SECTION 456~~:
 - .a shall only be used for office purposes and purposes accessory thereto;
- .3 for Lot 3 as identified on [Figure 1](#) ~~Schedule C – SECTION 456~~:
 - .a shall only be used for office purposes and purposes accessory thereto;
- .4 for Lot 4 as identified on [Figure 1](#) ~~Schedule C – SECTION 456~~:
 - .a shall only be used for office purposes and purposes accessory thereto;
- .5 for Lot 5 as identified on [Figure 1](#) ~~Schedule C – SECTION 456~~:
 - .a shall only be used for office purposes and purposes accessory thereto;
- .6 for Lot 6 as identified on [Figure 1](#) ~~Schedule C – SECTION 456~~:
 - .a shall only be used for office purposes and purposes accessory thereto;
- .7 for Lot 7 as identified on [Figure 1](#) ~~Schedule C – SECTION 456~~:
 - .a shall only be used for office purposes and purposes accessory thereto;
- .8 for Lot 8 as identified on [Figure 1](#) ~~Schedule C – SECTION 456~~:
 - .a shall be used for office purposes and purposes accessory thereto;
- .9 for Lot 9 as identified as those lands outlined by the heavy line, less those lands identified as Lot 1 to Lot 8, inclusive, on [Figure 1](#) ~~Schedule C – SECTION 456~~:
 - .a shall only be used for the following purposes:
 - .i -landscaped open space;
 - .ii parking, and
 - .iii shopping centre access driving.

12.456.2 The lands shall be subject to the following requirements and restrictions:

- .1 for Lot 1 as identified on [Figure 1](#) ~~Schedule C – SECTION 456~~:
 - .a Maximum Lot Coverage: 100 percent;
 - .b -Minimum Front Yard Depth: 0 metres;

- .c Minimum Rear Yard Depth: 0 metres;
 - .d Minimum Side Yard Width: 0 metres;
 - .e Minimum Lot Area: 202.0 square metres;
 - .f Minimum Lot Width: 8.5 metres;
 - .g Minimum Lot Depth: 20.5 metres;
 - .h Maximum Building Height: 3 storeys, and
 - .i minimum number of parking spaces: 15 parking spaces shall be provided and maintained on Lot 9 within the area identified as PARKING AREA on [Figure 1](#) ~~Schedule C – SECTION 456~~.
- .2 for Lot 2 as identified on [Figure 1](#) ~~Schedule C – SECTION 456~~:
- .a Maximum Lot Coverage: 100 percent;
 - .b Minimum Front Yard Depth: 0 metres;
 - .c Minimum Rear Yard Depth: 0 metres;
 - .d Minimum Side Yard Width: 0 metres;
 - .e Minimum Lot Area: 194.0 square metres
 - .f Minimum Lot Width: 8.5 metres;
 - .g Minimum Lot Depth: 20.5 metres;
 - .h Maximum Building Height: 3 storeys, and
 - .i minimum number of parking spaces: 15 parking spaces shall be provided and maintained on Lot 9 within the area identified as PARKING AREA on [Figure 1](#) ~~Schedule C – SECTION 456~~.
- .3 for Lot 3 as identified on [Figure 1](#) ~~Schedule C – SECTION 456~~:
- .a shall be subject to the following requirements and restrictions:
 - .b Maximum Lot Coverage: 100 percent;
 - .c Minimum Front Yard Depth: 0 metres;
 - .d Minimum Rear Yard Depth: 0 metres;
 - .e Minimum Side Yard Width: 0 metres;
 - .f Minimum Lot Area: 199.0 square metres;
 - .g Minimum Lot Width: 8.5 metres;
 - .h Minimum Lot Depth: 20.5 metres;

- .i Maximum Building Height: 3 storeys, and
 - .j minimum number of parking spaces: 15 parking spaces shall be provided and maintained on Lot 9 within the area identified as PARKING AREA on [Figure 1](#) ~~Schedule C – SECTION 456~~.
- .4 for Lot 4 as identified on [Figure 1](#) ~~Schedule C – SECTION 456~~:
- .a shall be subject to the following requirements and restrictions:
 - .b Maximum Lot Coverage: 100 percent;
 - .c Minimum Front Yard Depth: 0 metres;
 - .d Minimum Rear Yard Depth: 0 metres;
 - .e Minimum Side Yard Width: 0 metres;
 - .f Minimum Lot Area: 197.0 square metres;
 - .g Minimum Lot Width: 8.5 metres;
 - .h Minimum Lot Depth: 20.5 metres;
 - .i Maximum Building Height: 3 storeys, and
 - .j minimum number of parking spaces: 15 parking spaces shall be provided and maintained on Lot 9 within the area identified as PARKING AREA on [Figure 1](#) ~~Schedule C – SECTION 456~~.
- .5 for Lot 5 as identified on [Figure 1](#) ~~Schedule C – SECTION 456~~:
- .a shall be subject to the following requirements and restrictions:
 - .b Maximum Lot Coverage: 100 percent;
 - .c Minimum Front Yard Depth: 0 metres;
 - .d Minimum Rear Yard Depth: 0 metres;
 - .e Minimum Side Yard Width: 0 metres;
 - .f Minimum Lot Area: 205.0 square metres;
 - .g Minimum Lot Width: 8.5 metres; Page 3 of 6
 - .h Minimum Lot Depth: 20.5 metres;
 - .i Maximum Building Height: 3 storeys, and
 - .j Minimum number of parking spaces: 15 parking spaces shall be provided and maintained on Lot 9 within the area identified as PARKING AREA on [Figure 1](#) ~~Schedule C – SECTION 456~~.
- .6 for Lot 6 as identified on [Figure 1](#) ~~Schedule C – SECTION 456~~:

- .a shall be subject to the following requirements and restrictions:
- .b Maximum Lot Coverage: 100 percent;
- .c Minimum Front Yard Depth: 0 metres;
- .d Minimum Rear Yard Depth: 0 metres;
- .e Minimum Side Yard Width: 0 metres;
- .f Minimum Lot Area: 206.0 square metres;
- .g Minimum Lot Width: 8.5 metres;
- .h Minimum Lot Depth: 20.5 metres;
- .i Maximum Building Height: 3 storeys, and
- .j minimum number of parking spaces: 15 parking spaces shall be provided and maintained on Lot 9 within the area identified as PARKING AREA on [Figure 1](#) ~~Schedule C – SECTION 456~~.

.7 for Lot 7 as identified on [Figure 1](#) ~~Schedule C – SECTION 456~~:

- .a shall be subject to the following requirements and restrictions:
- .b Maximum Lot Coverage: 100 percent;
- .c Minimum Front Yard Depth: 0 metres; Page 4 of 6
- .d Minimum Rear Yard Depth: 0 metres;
- .e Minimum Side Yard Width: 0 metres;
- .f Minimum Lot Area: 198.0 square metres;
- .g Minimum Lot Width: 8.5 metres;
- .h Minimum Lot Depth: 20.5 metres;
- .i Maximum Building Height: 3 storeys, and
- .j minimum number of parking spaces: 15 parking spaces shall be provided and maintained on Lot 9 within the area identified as PARKING AREA on [Figure 1](#) ~~Schedule C – SECTION 456~~.

.8 for Lot 8 as identified on [Figure 1](#) ~~Schedule C – SECTION 456~~:

- .a shall be subject to the following requirements and restrictions:
- .b Maximum Lot Coverage: 100 percent;
- .c Minimum Front Yard Depth: 0 metres;
- .d Minimum Rear Yard Depth: 0 metres;

- .e Minimum Side Yard Width: 0 metres;
- .f Minimum Lot Area: 393.0 square metres;
- .g Minimum Lot Width: 8.5 metres;
- .h Minimum Lot Depth: 20.5 metres;
- .i Maximum Building Height: 3 storeys, and
- .j minimum number of parking spaces: 25 parking spaces shall be provided and maintained on Lot 9 within the area identified as PARKING AREA on **Figure 1 Schedule C – SECTION 456**.

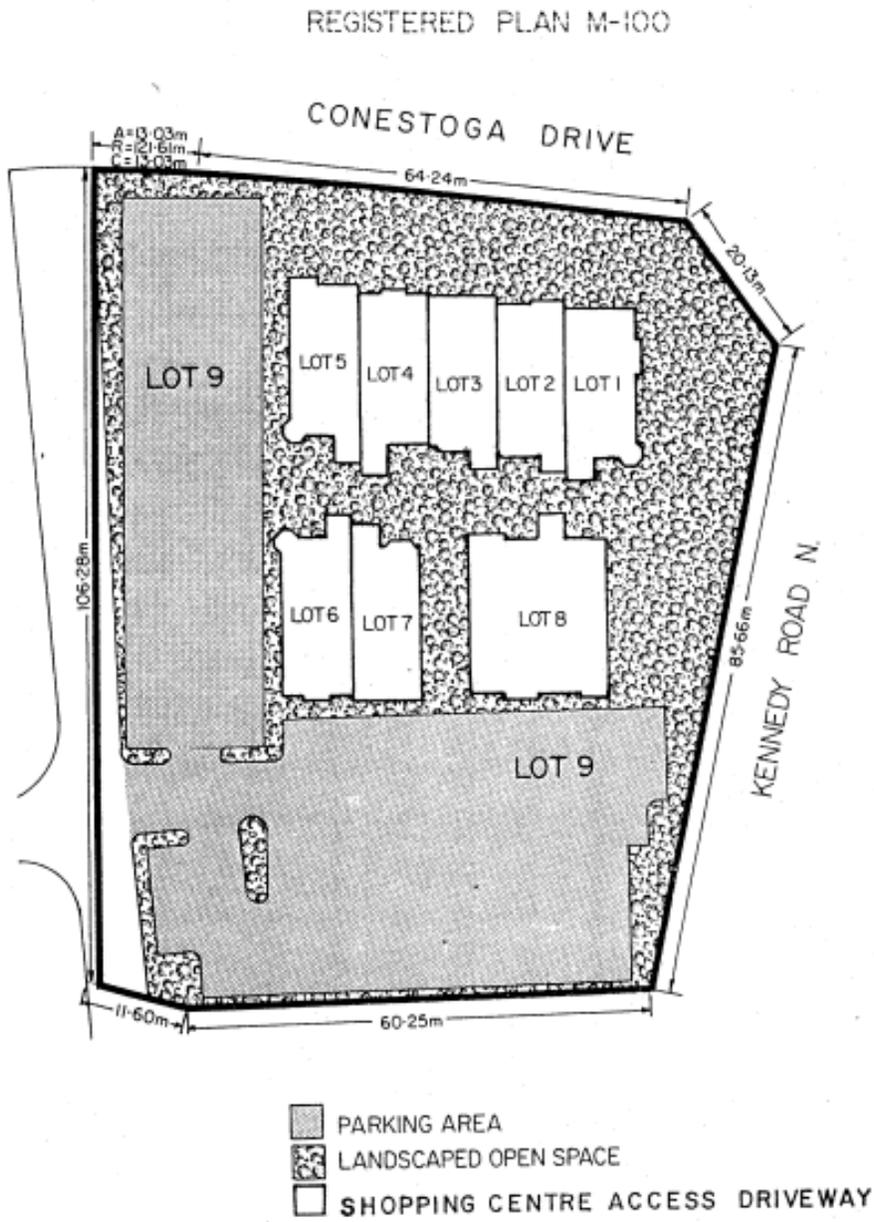
.9 for Lot 9 as identified as those lands outlined by the heavy line, less those lands identified as Lot 1 to Lot 8, inclusive, on **Figure 1 Schedule C – SECTION 456**:

- .a Landscaped Open Space shall be provided and maintained in areas shown as LANDSCAPED OPEN SPACE on **Figure 1 SCHEDULE C – SECTION 456**;
- .b a minimum of 130 parking spaces shall be provided and maintained in areas shown as PARKING AREA on **Figure 1 Schedule C – SECTION 456**;
- .c Minimum Lot Width: 89.0 metres, and
- .d Minimum Lot Depth: 105.0 metres.

12.456.3 for the purposes of **Exceptionsection 456**

.1 Lot shall mean a parcel for land which is permitted to be conveyed ~~by under Part VI~~ **Section 49** of the Planning Act, 198390.

Figure 1



NOTE: Lot 9 Consists Of Those Lands Outlined By Heavy Line, Less Lot 1 To Lot 8, Inclusive.

12.458 Exception 458

12.458.1 The lands shall only be used for the following purposes:

- .1 Institutional:
 - .a a religious institution, and
 - .b purposes accessory to the other permitted purpose.

12.458.2 The lands shall be subject to the following requirements and restrictions:

- .1 the Maximum Gross Floor Area of the building shall not exceed 490 square metres;
- .2 the Maximum Height of the building, excepting the steeple, shall not exceed 9.5 metres;
- .3 all buildings shall be setback a minimum distance of 7.5 metres from the lands zoned **Open Space (OS)**;
- .4 all parking areas shall be setback a minimum distance of 3.0 metres from the lands zoned **Open Space (OS)**;
- .5 Parking shall be provided on the basis of one parking space for every four fixed seats or two metres of open bench space, or in the case that there are no fixed seats or open benches, parking shall be provided on the basis of 1 space for every nine square metres of gross assembly, and
- .6 a minimum 3.0 metre wide landscaped strip shall be provided along the front lot line except at the location of an access driveway.

12.459 Exception 459

12.459.1 The lands shall only be used for the following purposes:

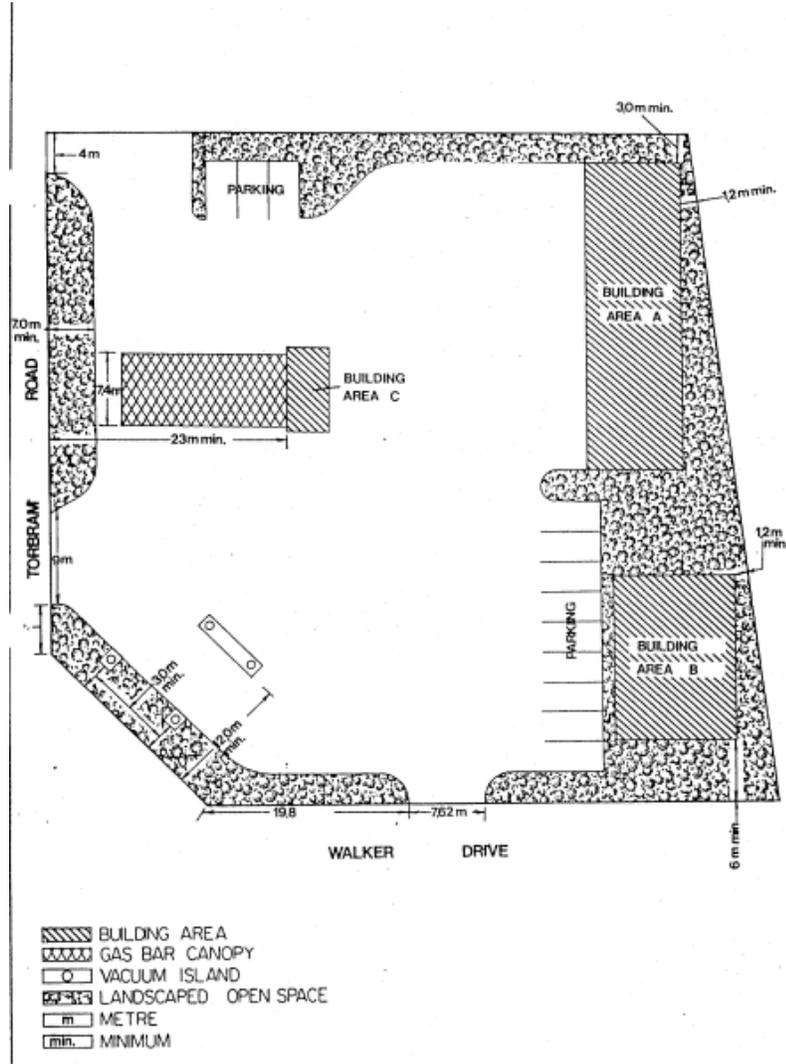
- .1 a gas bar
- .2 only in conjunction with a gas bar:
 - .a a convenience store
 - .b motor vehicle washing establishment
- .3 purposes accessory to the other permitted purposes.

12.459.2 The lands shall be subject to the following requirements and restrictions:

- .1 all buildings shall be located within the areas shown as BUILDING AREA A, BUILDING AREA B and BUILDING AREA C on ~~SCHEDULE C – SECTION 459~~ **Figure 1**.
- .2 Landscaped Open Space shall be provided and maintained in the areas shown as LANDSCAPED OPEN SPACE on **Figure 1**. ~~SCHEDULE C – SECTION 459~~
- .3 the Gross Commercial Floor Area of all buildings and structures, with the exception of a gas bar canopy, shall not exceed 670 square metres
- .4 the Gross Commercial Floor Area devoted to a convenience store shall not exceed 205 square metres
- .5 vacuum island shall be located within the areas shown as VACUUM ISLAND on **Figure 1**. ~~SCHEDULE C – SECTION 459~~
- .6 the area covered by a gas bar canopy shall not exceed 132 square metres and shall be located within the area shown as GAS BAR CANOPY on **Figure 1**. ~~SCHEDULE C – SECTION 459~~
- .7 the Maximum Height of all buildings shall not exceed 1 storey
- .8 Parking Spaces are not required for a coin operated motor vehicle washing establishment
- .9 a Loading Space shall not be required,
— all garbage and refuse storage containers shall be located within an enclosure that screens the containers from view at all times and the enclosure shall be located between BUILDING AREA A and BUILDING AREA B as shown on **Figure 1**. ~~SCHEDULE C – SECTION 459~~

Exception Zones

Figure 1.



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12.460 Exception 460

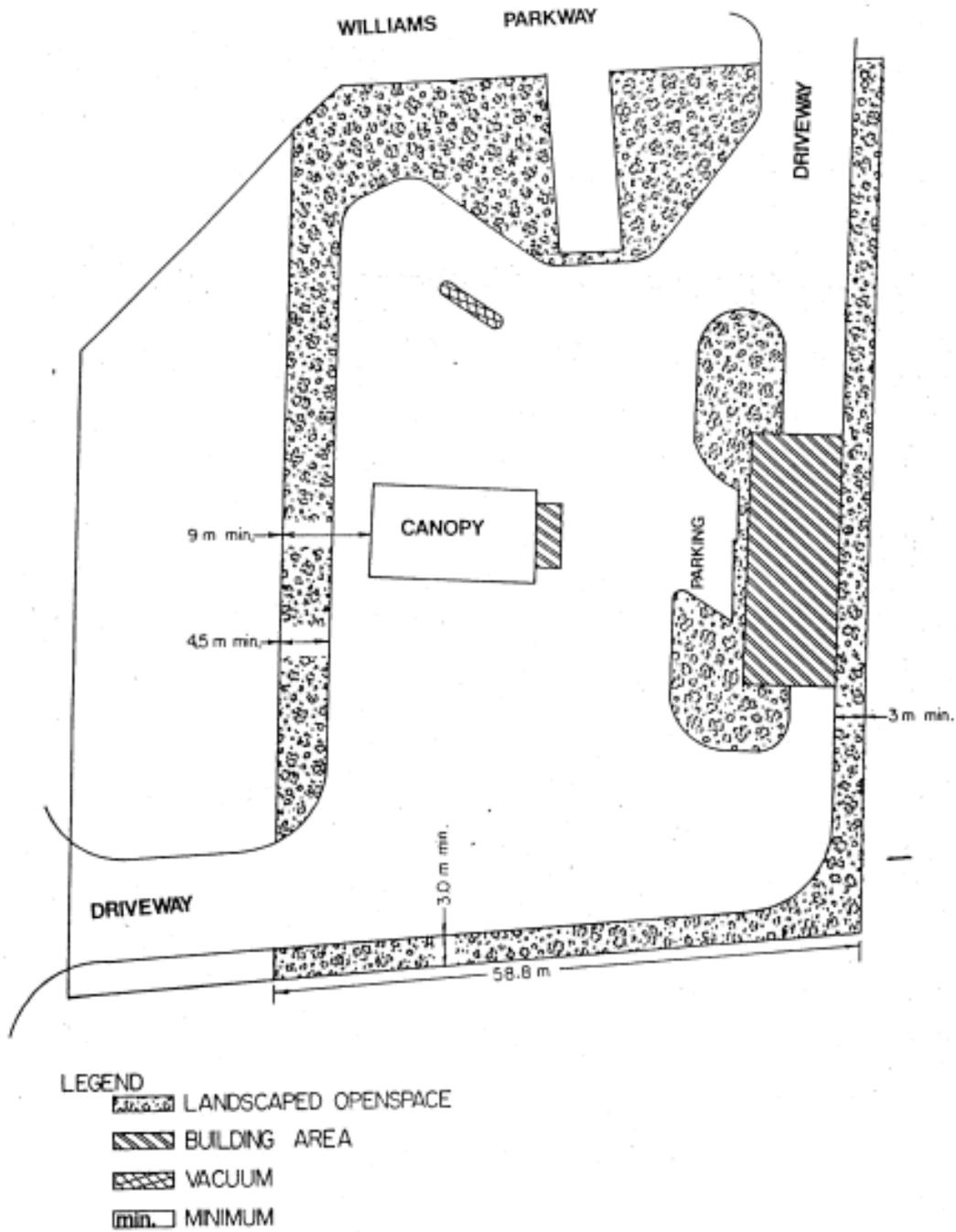
12.460.1 The lands shall only be used for the following purposes:

- .1 a gas bar
- .2 only in conjunction with a gas bar, a motor vehicle washing establishment, and
- .3 purposes accessory to the other permitted purposes

12.460.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Lot Area: 0.53 hectares
- .2 Minimum Lot Width: 58.0 metres
- .3 Minimum Lot Depth: 90.0 metres
- .4 Maximum Building Height: one storey
- .5 all buildings shall be located within the areas shown as BUILDING AREA on ~~SCHEDULE C-SECTION 460~~ **Figure 1.**
- .6 canopy shall be located within the area shown as CANOPY on ~~Figure 1. SCHEDULE C-SECTION 460~~
- .7 Landscaped Open Space shall be provided and maintained in the areas shown as LANDSCAPED OPEN SPACE on ~~Figure 1. SCHEDULE C-SECTION 460~~
- .8 a minimum of 4 parking spaces shall be provided and maintained in the area shown as PARKING on ~~Figure 1. SCHEDULE C-SECTION 460~~
- .9 driveways shall be located as shown on ~~Figure 1. SCHEDULE C-SECTION 460~~
- .10 no outside storage or display of goods shall be permitted
- .11 waste storage facilities shall be contained within a building.

Figure 1.



12.461 Exception 461

12.461.1 The lands shall only be used for the following purposes:

- .1 shall only be used for the purposes permitted in an **R1MP1C zone**.

12.461.2 The lands shall be subject to the following requirements and restrictions:

- .1 the Minimum Width for a Side Yard flanking a public walkway or lands zoned OS shall be 1.2 metres, plus 0.6 metres for each additional storey above the first.
- .2 where a garage faces a side lot line the minimum setback to the front of the garage shall be 6 metres.

12.462 Exception 462

12.462.1 The lands shall only be used for the following purposes:

- .1 shall only be used for the purposes permitted in an **R1MP1C zone**.

12.462.2 The lands shall be subject to the following requirements and restrictions:

- .1 the Minimum Rear Yard Depth shall be 10 metres.
- .2 where a garage faces a side lot line the minimum setback to the front of garage shall be 6

12.463 Exception 463

12.463.1 The lands shall only be used for the following purposes:

- .1 shall only be used for the purposes permitted in a **R1MR1D zone**.

12.463.2 The lands shall be subject to the following requirements and restrictions:

- .1 the Minimum Width for a Side Yard flanking a public walkway or lands zoned OS shall be 1.2 metres, plus 0.6 metres for each additional storey above the first.
- .2 the Minimum Front Yard Depth shall be:
 - .a to the main wall of building: 4.5 metres
 - .b to the front of garage or carport: 6.0 metres
- .3 where a garage faces a side lot line the minimum setback to the front of the garage shall be 6 metres.

12.464 Exception 464

12.464.1 The lands shall only be used for the following purposes:

- .1 shall only be used for the purposes permitted in a **R1M, R1AR1D** zone.

12.464.2 The lands shall be subject to the following requirements and restrictions:

- .1 the Minimum Front Yard Depth shall be:
 - .a to the main wall of building: 4.5 metres
 - .b to the front of garage or carport: 6.0 metres
- .2 no building shall be located closer than 7.6 metres to Bovaird Drive.
- .3 the Minimum Rear Yard Depth shall be 10 metres.
- .4 where a garage faces a side lot line the minimum setback to the front of the garage shall be 6 metres.

12.465 Exception 465

12.465.1 The lands shall only be used for the following purposes:

- .1 shall only be used for the purposes permitted in a **R1M, R1AR2A(2) - SECTION 283 zone.**

12.465.2 The lands shall be subject to the following requirements and restrictions:

- .1 no building shall be located closer than 7.6 metres to Bovaird Drive.
- .2 where a garage faces a side lot line the minimum setback to the garage shall be 6 metres.

12.466 Exception 466

12.466.1 The lands shall only be used for the following purposes:

- .1 a gas bar;
- .2 only in conjunction with a gas bar, a retail establishment having no outside storage, and
- .3 purposes accessory to the other permitted purposes.

12.466.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Lot Width: 65.0 metres;
- .2 Minimum Lot Depth: 65.0 metres;
- .3 Minimum Centre Line of original road allowance setback:
 - .a Highway Number 7: 30.0 metres, and
 - .b Mississauga Road: 30.0 metres.
- .4 Minimum Interior Side Yard Width: 6.0 metres;
- .5 Minimum Rear Yard Depth: 6.0 metres;
- .6 Maximum Building Height: 1 storey;
- .7 Minimum Landscaped Open Space:
 - .a minimum width abutting Highway Number 7 and Mississauga Road, except for driveway: 6.0 metres, and
 - .b 50 percent of required yard depth and interior side yard width;
- .8 Outdoor Storage: no storage shall be permitted outside a building, and
- .9 Maximum Gross Floor Area of a kiosk: 90.0 square metres.

13.466.3 for the purposes of **Exceptionsection 466:**

- .1 Lot Width shall mean the straight line distance between two points, one on each side of the lot line, each 20.0 metres back from the front lot line.

12.466.4 The Holding (H)

- .1 changes in use, expansion of uses, redevelopment and development are prohibited until such time as the holding symbol (H) has been removed;
- .2 while the holding symbol (H) is in place lands shall only be used for uses that legally existed prior to the placing of the holding symbol (H) on the lands (being the “interim uses”);

- .3 notwithstanding [ExceptionSection 1872.2](#) thereof, a public utility comprised of a water reservoir and pumping station operated by the Region of Peel shall be permitted while the holding symbol (H) remains in effect;
- .4 interim uses (including buildings and structures associated with said use) shall not be expanded in any way while the holding symbol (H) remains in effect;
- .5 shall be subject to the removal of the holding symbol (H) by means of an amendment to this by-law when conditions (a) or (b) of [ExceptionSection 1873.4](#) are satisfied.

12.467 Exception 467

12.467.1 The lands shall only be used for the following purposes:

- .1 shall only be used for the purposes permitted in a **R1MR1C zone**

12.467.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Lot Area:
 - Interior Lot 369 square metres
 - Corner lot 469 square metres
- .2 Minimum Lot Width:
 - Interior lot 11.0 metres
 - Corner lot 13.4 metres
- .3 Minimum Lot Depth: 33.0 metres
- .4 Minimum Front Yard Depth:
 - .a to the main wall of the building: 4.5 metres
 - .b to the front of a garage or carport: 6.0 metres
- .5 Minimum Side Yard Width:
 - .a for a side yard flanking a road allowance,
 - .i where the dwelling unit and garage both face the front lot line, 3 metres, and
 - .ii where the garage faces a side lot line, 3 metres for the dwelling unit and 6 metres for the garage.
 - .b for a side yard flanking a public walkway or lands zoned OS: 1.2 metres, plus 0.6 metres for each additional storey above the first.
 - .c for a side yard abutting Highway Number 410 or a reserve abutting this road: 13.7 metres.
 - .d for other side yards: 0 metres, provided that,
 - .i the distance between the walls of two dwellings is not less than 1.8 metres,
 - .ii here the distance between the walls of two dwellings is less than 2.4 metres, no window below grade or door below grade is permitted in either wall, and
 - .iii the total width of side yards on any lot is not less than 1.8 metres.
- .6 Minimum Rear Yard Depth: 7.6 metres, except where the rear yard abuts Highway Number 410 or a reserve abutting this road, in which case the minimum requirement is 13.7 metres.

- .7 Maximum Building Height: 2 storeys.
- .8 Minimum Front Yard Landscaped Open Space: 45 percent of the front yard area of an interior lot, 55 percent of the front yard area of a corner lot, and 35 percent of the front yard area of a lot where the side lot lines converge towards the front yard lot line.

12.467.3 for the purposes of Exceptionsection 467:

- .1 Lot Area shall mean the total horizontal area enclosed within the lot lines of a lot. In the case of a corner lot having a street line rounding at the corner of a radius of 6 metres or less, the lot area of such lot shall be calculated as if the lot lines were produced to their point of intersection. Lot Width shall mean the least distance, measured in a straight line, between the side lot lines where the side lot lines are parallel, and:
 - .2 where such lot lines are not parallel but converge towards the front lot line, the lot width shall be the straight line distance between two points, one on each side lot Page 2 of 3 line, each 7.62 metres back from the front lot line, or
 - .3 where such lot lines are not parallel but converge towards the rear lot line, the lot width shall be the straight line distance between two points, one on each side lot line, each 15.0 metres back from the front lot line, or
 - .4 in the case of a corner lot having a street line rounding at the corner with a radius of 7.5 metres or less, the lot width of such lot shall be calculated as if the lot lines were produced to their point of intersection.

12.468 Exception 468

12.468.1 The lands shall only be used for the following purposes:

.1 shall only be used for the purposes permitted in a **R1MR1C zone**

12.468.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Lot Area: 360 square metres
- .2 Minimum Lot Width: 11.0 metres
- .3 Minimum Lot Depth: 25.0 metres
- .4 Minimum Front Yard Depth:
 - .a to the main wall of the building: 4.5 metres
 - .b to the front of a garage or carport: 6 metres
- .5 Minimum Side Yard Width:
 - .a for a side yard flanking a road allowance,
 - .i where the dwelling unit and garage both face the front lot line, 3 metres, and
 - .ii where the garage faces a side lot line, 3 metres for the dwelling unit and 6 metres for the garage.
 - .b for a side yard flanking a public walkway or lands zoned OS: 1.2 metres, plus 0.6 metres for each additional storey above the first.
 - .c for a side yard abutting Highway Number 410 or a reserve abutting this road: 13.7 metres.
 - .d for other side yards: 0 metres, provided that:
 - .i the distance between the walls of two dwellings is not less than 1.8 metres,
 - .ii where the distance between the walls of two dwellings is less than 2.4 metres, no window below grade or door below grade is permitted in either wall, and
 - .iii the total width of side yards on any lot is not less than 1.8 metres.
- .6 Minimum Rear Yard Depth: 7.6 metres, except where the rear yard abuts Highway Number 410 or a reserve abutting this road, in which case the minimum requirement is 13.7 metres.
- .7 Maximum Building Height: 2 storeys.
- .8 Minimum Front Yard Landscaped Open Space: 45 percent of the front yard area of an interior lot, 55 percent of the front yard area of a corner lot, and 35 percent of the front yard area of a lot where the side lot lines converge towards the front yard lot line.

12.469 Exception 469

12.469.1 The lands shall only be used for the following purposes:

- .1 shall only be used for the purposes permitted in a **R1MR1D zone**

12.469.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Lot Area:
 - Interior lot: 308 square metres
 - Corner lot: 425 square metres
- .2 Minimum Lot Width:
 - Interior lot: 9.0 metres
 - Corner lot: 12.0 metres
- .3 Minimum Lot Depth: 33.0 metres
- .4 Minimum Front Yard Depth:
 - .a to the main wall of the building: 4.5 metres;
 - .b to the front of a garage or carport: 6.0 metres.
- .5 Minimum Side Yard Width:
 - .a for a side yard flanking a road allowance:
 - .i where the dwelling unit and garage both face the front lot line, 3 metres, and
 - .ii where the garage faces a side lot line, 3 metres for the dwelling unit and 6 metres for the garage.
- .6 for a side yard flanking a public walkway or lands zoned OS: 1.2 metres, plus 0.6 metres for each additional storey above the first.
- .7 for a side yard abutting Highway Number 410 or a reserve abutting this road: 13.7 metres.
- .8 for other side yards: 0 metres, provided that:
 - .a the distance between the walls of two dwellings is not less than 1.8 metres,
 - .b where the distance between the walls of two dwellings is less than 2.4 metres, no window below grade or door below grade is permitted in either wall, and
 - .c the total width of side yards on any lot is not less than 1.8 metres.
- .9 Minimum Rear Yard Depth: 7.6 metres, except where the rear yard abuts Highway Number 410 or a reserve abutting this road, in which case the minimum requirement is 13.7 metres.

- .10 Minimum Building Height: 2 storeys.
- .11 Minimum Front Yard Landscaped Open Space: 40 percent of the front yard area of a interior lot, 50 percent of the front yard area of a corner lot, and 30 percent of the front yard area of a lot where the side lot lines converge towards the front yard lot line.

12.469.3 for the purposes of Exceptionsection 469..:

- .1 Lot Area shall mean the total horizontal area enclosed within the lot lines of a lot. In the case of a corner lot having a street line rounding at the corner of a radius of 6 metres or less, the lot area of such lot shall be calculated as if the lot lines were calculated as if the lot lines were produced to their point of intersection.
- .2 Lot Width shall mean the least distance, measured in a straight line, between the side lot lines, where the side lot lines are parallel, and
 - .a where such lot lines are not parallel but converge towards the front lot line, the lot width shall be the straight line distance between two points, one on each side lot line, each 7.62 metres back from the front lot line, or
 - .b where such lot lines are not parallel but converge towards the rear lot line, the lot width shall be the straight line distance between two points, one on each side lot line, each 15.0 metres back from the front lot line, or
 - .c in the case of a corner lot having a street line rounding at the corner with a radius of 7.5 metres or less, the lot width of such lot shall be calculated as if the lot lines were produced to their point of intersection.

12.471 Exception 471

12.471.1 The lands shall only be used for the following purposes:

- .1 the purposes permitted in a **LCC1** zone.

12.471.2 The lands shall be subject to the following requirements and restrictions:

- .1 the Minimum Interior Side Yard Width shall be 7.6 metres;
- .2 the Minimum Rear Yard Depth shall be 3.0 metres;
- .3 the Maximum Building Height shall not exceed 1 storey;
- .4 all garbage and refuse containers shall be enclosed within the main building;
- .5 garbage and refuse containers for a restaurant shall be located within a climate-controlled area within the building;

12.472 Exception 472

12.472.1 The lands shall only be used for the following purposes:

- .1 shall only be used for the purposes permitted in a **R1M, R1C(1)** zone.

12.472.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Front Yard Depth:
 - .a to the main wall of the building: 4.5 metres
 - .b to the front of a garage or carport: 6.0 metres.

12.474 Exception 474

12.474.1 The lands shall only be used for the following purposes:

- .1 shall only be used for the purposes permitted in an **I1OS** zone.

12.474.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Interior Side Yard Width: 6.0 metres
- .2 Minimum Rear Yard Depth : 6.0 metres

12.475 Exception 475

12.475.1 The lands shall only be used for the following purposes:

- .1 a public or private school;
- .2 a religious institution;
- .3 a day care nursery;
- .4 a park, playground or recreational facility;
- .5 a community club, and
- .6 purposes accessory to the other permitted purposes

12.475.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Front Yard Depth: 7.6 metres
- .2 Minimum Rear Yard Depth: 40.0 metres
- .3 Minimum Interior Side Yard Width: 9.0 metres
- .4 Minimum Lot Width: 54.0 metres
- .5 Minimum Lot Depth: 82.0 metres
- .6 Maximum Building Height: 2 storey
- .7 Minimum Landscaped Open Space:
 - .a 100 percent of the minimum required front yard area, except for driveway access, and
 - .b 3.0 metres abutting a Residential zone.

12.476 Exception 476

12.476.1 The lands shall only be used for the following purposes:

- .1 a motor vehicle repair shop, but excluding a motor vehicle body shop as a principal or accessory use;
- .2 purposes accessory to the other permitted purposes.

12.476.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Front Yard Depth: 20.0 metres;
- .2 Minimum Rear Yard Depth: 7.0 metres;
- .3 Minimum Lot Width: 70 metres;
- .4 Minimum Lot Depth: 40 metres;
- .5 Minimum Lot Area: 0.3 hectares
- .6 Minimum Interior Side Yard Width: 6 metres;
- .7 Maximum Building Height: 1 storey;
- .8 Maximum Gross Commercial Floor Area: 465 square metres;
- .9 Minimum Landscaped Open Space: 6 metres, in depth along the front lot line, Highway Number 7, except for driveway access, and 7 metres in depth along the rear lot line.

12.478 Exception 478

12.478.1 The lands shall only be used for the following purposes:

- .1 shall only be used for the purposes permitted by **R1MR1D Zone**.

12.478.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Lot Area:
 - .a Interior Lot: 340 sq.m.
 - .b Corner Lot: 480 sq.m.
- .2 Minimum Lot Depth: 32 metres except where the lot abuts North Park Drive or a reserve abutting North Park Drive, in which case the minimum lot depth shall be 40 metres.
- .3 Minimum Front Yard Depth:
 - .a to the main wall of the building: 4.5 metres
 - .b to the front of any garage or carport: 6 metres
- .4 Minimum Side Yard Width:
 - .a for a side yard flanking a road allowance:
 - .i where the dwelling unit and garage both face the front lot line, 3 metres
 - .ii where the garage faces a side lot line, 3 metres for the dwelling unit and 6 metres for the garage
 - .b for other side yards: 0 metres, provided that:
 - .i the distance between the walls of two dwellings is not less than 1.8 metres
 - .ii where the distance between the walls of two dwellings is less than 2.4 metres, no window below grade or door below grade is permitted in either wall, and
 - .iii the total width of side yards on any lot is 1.8 metres
- .5 Permitted Yard Encroachments:
 - .a every part of any required yard shall be open and unobstructed by any building or structure from the ground to the sky, except for unenclosed porches, sills, belt courses, cornices, eaves or gutters, which may project into any required yard the lesser of 45 centimetres or 50 percent of any required yard.
 - .b chimneys and pilasters may project into any required yard the lesser of 61 centimetres or 50 percent of any required yard.
- .6 Maximum Building Height: 2 storeys

- .7 Accessory Buildings shall:
 - .a not be less than 0.6 metres from any lot line.
 - .b not have a floor area in excess of 15 square metres.
- .8 the Maximum Coverage by a swimming pool shall not exceed 50 per cent of the area of the yard containing the pool.

12.478.3 for the purposes of Exceptionsection 478:

- .1 Rear Lot Line shall mean the lot line opposite and furthest from the front lot line.

12.479 Exception 479

12.479.1 The lands shall only be used for the following purposes:

- .1 shall only be used for the purposes permitted by **R1R1D Zone**.

12.479.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Lot Area:
 - .a Interior Lot: 270 square metres.
 - .b Corner Lot: 355 square metres
- .2 Minimum Lot Width:
 - .a Interior Lot: 10.0 metres
 - .b Corner Lot: 13.5 metres.
- .3 Minimum Lot Depth: 26.5 metres.
- .4 Minimum Front Yard Depth: 6.0 metres to the front of the garage and 4.5 metres to the front wall of the dwelling.
- .5 Minimum Rear Yard Depth: 7.5 metres.
- .6 Minimum Exterior Side Yard Width: 4.5 metres, and no garage shall face the exterior side lot line.
- .7 Minimum Interior Side Yard Width:
 - .a where a lot width is less than 12.5 metres:
 - .i 0.6 metres, provided the combined total of the interior side yards on an interior lot is not less than 1.8 metres;
 - .ii 1.2 metres where the side yard abuts a public walkway or a nonresidential zone.
 - .b where a lot width is greater than or equal to 12.5 metres and less than 15.8 metres:
 - .i 1.2 metres and 1.2 metres for an interior lot;
 - .ii 0.6 metres for a corner lot abutting an interior lot.
 - .c where a corner lot has a width greater than or equal to 15.8 metres:
 - .i 1.2 metres for a corner lot abutting an interior lot.
- .8 The following provisions shall apply to garages:
 - .a the maximum cumulative garage door width shall be:
 - .i 3.7 metres if the lot width for a particular unit is less than 10.4 metres;

- .ii 4.6 metres if the lot width for a particular unit is less than 11.6 metres but greater than or equal to 10.4 metres;
 - .iii 5.0 metres if the lot width for a particular unit is less than 12.5 metres but greater than or equal to 11.6 metres;
 - .iv 5.5 metres if the lot width for a particular unit is less than 14.0 metres but greater than or equal to 12.5 metres.
- .b the maximum interior garage width shall be:
- .i 5.2 metres if the lot width for a particular unit is less than 11.6 metres but greater than or equal to 10.4 metres;
 - .ii 5.6 metres if the lot width for a particular unit is less than 12.5 metres but greater than or equal to 11.6 metres;
 - .iii 6.1 metres if the lot width for a particular unit is less than 14.0 metres but greater than or equal to 12.5 metres;
 - .iv 50% of the dwelling unit width if the lot width for a particular unit is greater than or equal to 14.0 metres.
- .9 For lot widths less than 15.0 metres, no garage shall project into the front yard more than 1.5 metres beyond a porch or front wall of a dwelling.
- .10 For lot widths equal to or greater than 15.0 metres, no garage facing the front lot line shall project into the front yard beyond a porch or front wall of a dwelling. This projection shall apply to the ground floor of the front wall and not the second storey.

12.480 Exception 480

12.480.1 The lands shall only be used for the following purposes:

- .1 a semi-detached dwelling;
- .2 an auxillary group home; and
- .3 Purposes accessory to the other permitted purposes.

12.480.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Lot Area:
 - .a Interior Lot: 400 square metres per lot and 200 square metres per dwelling unit
 - .b Corner Lot: 450 square metres per lot and 200 square metres per dwelling unit
- .2 Minimum Lot Width:
 - .a Interior Lot: 15.0 metres per lot, and 7.5 metres per dwelling unit;
 - .b Corner Lot: 17.0 metres per lot, and 9.3 metres for the dwelling unit closest to the flankage lot line.
- .3 Minimum Lot Depth: 27.0 metres.
- .4 Minimum Front Yard Depth: 6.0 metres to the front of the garage and 4.5 metres to the front wall of the dwelling.
- .5 Minimum Rear Yard Depth: 7.5 metres
- .6 Minimum Exterior Side Yard Width: 3.0 metres, and no garage shall face the exterior side lot line.
- .7 Minimum Interior Side Yard Width: 1.2 metres, except along a common wall lot line where the setback may be zero.
- .8 The following provisions shall apply to garages:
 - .a The maximum cumulative garage door width per dwelling unit shall be:
 - .i 2.5 metres if the lot width for a particular unit is less than 8.2 metres but greater than or equal to 7.2 metres;
 - .ii 3.1 metres if the lot width for a particular unit is less than 9.2 metres but greater than or equal to 8.2 metres;
 - .iii 3.7 metres if the lot width for a particular unit is greater than or equal to 9.2 metres;
 - .b The maximum interior garage width shall be:
 - .i 3.1 metres if the lot width for a particular unit is less than 8.2 metres but greater than or equal to 7.2 metres;

- .ii 3.7 metres if the lot width for a particular unit is less than 9.2 metres but greater than or equal to 8.2 metres;
 - .iii 4.3 metre if the lot width for a particular unit is greater than or equal to 9.2 metres.
- .9 No garage shall project into the front yard more than 1.5 metres beyond a porch or front wall of a particular dwelling unit.

12.481 Exception 481

12.481.1 The lands shall only be used for the following purposes:

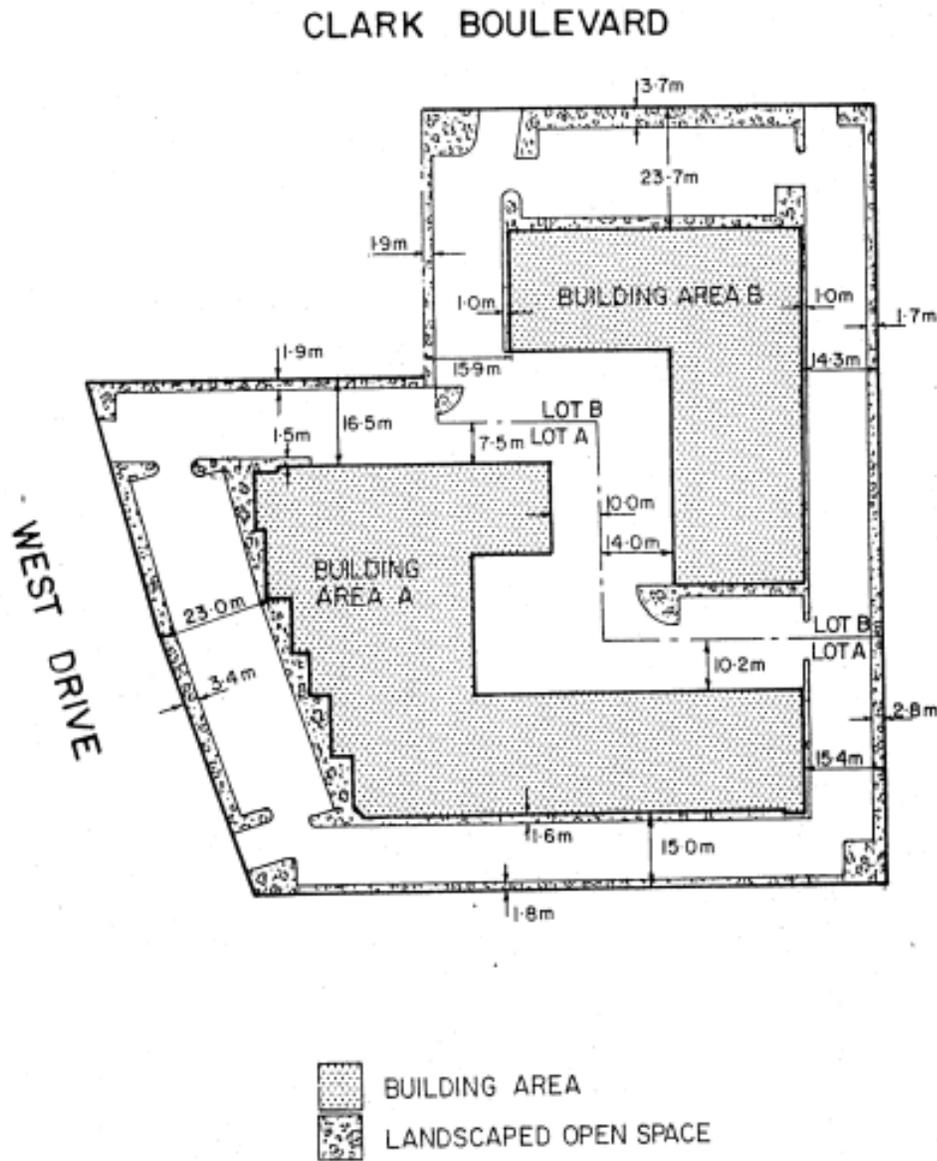
- .1 the purposes permitted by **PEM1 Zone**
- .2 a bank, trust company or finance company
- .3 a dining room restaurant, a take out restaurant, a convenience restaurant
- .4 offices
 - .a a retail establishment having no outside storage and including the following:
 - .b a hardware store
 - .c a wholesale and retail store selling frozen foods only
 - .d a video rental and sales store
 - .e a sporting foods store
 - .f a store selling musical equipment, sound recording equipment and accessory uses.
- .5 a personal service shop
- .6 a service shop
- .7 a laundromat
- .8 purposes accessory to the other permitted purposes.

12.481.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Lot Area:
 - .a Lot A: 10,000 square metres
 - .b Lot B: 8,000 square metres
- .2 minimum front yard depth, minimum side yard width and minimum rear yard depth shall be as shown on **SCHEDULE C – SECTION 481 Figure 1.**
- .3 all buildings on Lot A shall be located within BUILDING AREA A and all buildings on Lot B shall be located within BUILDING AREA B as shown on **Figure 1. SCHEDULE C – SECTION 481**
- .4 Maximum Height of all buildings on Lot A and Lot B shall not exceed one storey
- .5 Maximum Gross Floor Area of all buildings on Lot A shall not exceed 4005 square metres, and the maximum gross floor area of all buildings on Lot B shall not exceed 2550 square metres
- .6 the Maximum Gross Floor Area of medical office shall not exceed a total of 250 square metres

- .7 a service station shall be permitted only on Lot A, and not on Lot B
- .8 purposes permitted by ExceptionSection 12, 481.1(6) to 481.1(8); both inclusive, shall not occupy more than 50 percent of the permitted gross floor area of buildings on Lot A and on Lot B
- .9 Landscaped Open Space shall be provided and maintained on Lot A, and on Lot B, in the locations shown as LANDSCAPED OPEN SPACE on Figure 1, SCHEDULE C – SECTION 481.

Figure 1



12.483 Exception 483

12.483.1 The lands shall only be used for the following purposes:

- .1 the purposes permitted in a **A zone**
- .2 one mobile home as a temporary use

12.483.2 The lands shall be subject to the following requirements and restrictions:

- .1 the mobile home shall be erected a minimum distance of 150 metres from any property boundary
- .2 the mobile home shall not exceed a gross floor area of 140 square metres
- .3 the mobile home shall only be occupied by a person employed on the land in connection with the permitted agricultural purpose
- .4 the mobile home shall not be permitted after September 1, 1993.

12.485 Exception 485

12.485.1 The lands shall only be used for the following purposes:

- .1 An apartment dwelling
- .2 Purposes accessory to the other permitted uses

12.485.2 The lands shall be subject to the following requirements and restrictions:

- .1 Maximum Number of Dwelling Units: 450
- .2 Minimum Lot Area Per Dwelling Unit: 35 square metres
- .3 Minimum Interior Side Yard Width: 6 metres
- .4 Minimum Rear Yard Depth: 8 metres
- .5 Minimum Landscaped Open Space: 45%
- .6 Maximum Floor Space Index: 2.60
- .7 Minimum Distance Between Buildings: 22 metres
- .8 Maximum Building Height: 20 storeys
- .9 Notwithstanding the requirements of **Section 20.3.3**, a maximum of 26% of the total parking may be provided at-grade within a surface parking lot.
- .10 Maximum encroachment of structural support columns is 2.2 metres into the required rear yard.

12.487 Exception 487

12.487.1 The lands shall only be used for the following purposes:

- .1 shall only be used for the purposes permitted by **R1R1C Zone**.

12.487.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Lot Width:
 - .a Interior Lot: 13.5 metres
 - .b Corner Lot: 15.0 metres

12.490 Exception 490

12.490.1 The lands shall only be used for the following purposes:

- .1 shall only be used for the purposes permitted by **RIA, R1R1C Zone.**

12.490.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Lot Width: 25 metres
- .2 Minimum Lot Depth: 40 metres
- .3 Minimum Lot Area: 1000 square metres
- .4 Minimum Side Yard Width: 1.2 metres on one side and 0.9 metres on the other side provided that:
 - .a the minimum distance between detached buildings shall not be less than 2.1 metres;
 - .b where the distance between the walls of two dwellings is less than 2.4 metres, no door or no window below grade will be permitted in any such wall;
 - .c where the side yard abuts a reserve or a noise attenuation block, the minimum side yard width shall be 4.0 metres;

12.491 Exception 491

12.491.1 The lands shall only be used for the following purposes:

.1 shall only be used for the purposes permitted by **R1AR1G Zone**.

12.491.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Lot Width: 18 metres
- .2 Minimum Lot Depth: 39 metres
- .3 Minimum Lot Area: 900 square metres
- .4 Minimum Side Yard Width: 1.2 metres on one side and 0.9 metres on the other side provided that:
 - .a the minimum distance between detached buildings shall not be less than 2.1 metres;
 - .b where the distance between the walls of two dwellings is less than 2.4 metres, no door or no window below grade will be permitted in any such wall;
 - .c where the side yard abuts a reserve, the minimum side yard width shall be 4.0 metres.

12.492 Exception 492

12.492.1 The lands shall only be used for the following purposes:

- .1 shall only be used for the purposes permitted by **R1R1D Zone**.

12.492.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Lot Width: 10 metres
- .2 Minimum Lot Depth: 42 metres
- .3 Minimum Rear Yard Depth: 15 metres

12.493 Exception 493

12.493.1 The lands shall only be used for the following purposes:

- .1 shall only be used for the purposes permitted by **R1R1D Zone**.

12.493.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Lot width:
 - .a Interior Lot: 10.5 metres
 - .b Corner Lot: 13.5 metres

12.494 Exception 494

12.494.1 The lands shall only be used for the following purposes:

- .1 shall only be used for the purposes permitted by **R1R1D Zone**.

12.494.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Lot Width: 16.5 metres
- .2 Minimum Lot Depth: 27 metres
- .3 Minimum Lot Area: 480 square metres

12.497 Exception 497

12.497.1 The lands shall only be used for the following purposes:

- .1 shall only be used for those uses permitted in a **PEM1 zone** but a motor vehicle repair shop shall not be included.

12.497.2 The lands shall be subject to the following requirements and restrictions:

- .1 refuse storage shall be screened from view from all highways and streets.

12.498 Exception 498

12.498.1 The lands shall only be used for the following purposes:

- .1 shall only be used for those uses permitted in a **PEM1 - ExceptionSection 497 zone**

12.498.2 The lands shall be subject to the following requirements and restrictions:

- .1 the Minimum Lot Width shall be 40 metres.

12.499 Exception 499

12.499.1 The lands shall only be used for the following purposes:

- .1 either:
 - .a those uses permitted in a **PEM1 - ExceptionSection 497 zone**,
 - or:
 - .b an office, and only in conjunction with an office the following ancillary purposes:
 - .i a convenience restaurant; (ii) a dining room restaurant; (iii) a personal service shop; (iv) a bank, trust company or financial institution, and
 - .ii a card and newspaper shop. but not both, and
 - .iii purposes accessory to other permitted purposes.

12.499.2 The lands shall be subject to the following requirements and restrictions:

- .1 in respect of the purposes permitted by **Exceptionsection 499.1.1(1)(b)** the following:
 - .a the Maximum Gross Floor Area of all buildings and structures shall not exceed 50 percent of the total site area;
 - .b the Maximum Height of all buildings and structures shall not exceed 5 storeys;
 - .c the Maximum Gross Floor Area of the ancillary uses permitted by **Exceptionsections 499.1.1(1)(b)(i) to 499.1.1(1)(b)(v)**, both inclusive, shall not exceed 15 percent of the total gross floor area of all buildings and structures on a site;
 - .d the Maximum Gross Floor Area devoted to restaurants shall not exceed 50 percent of the gross floor area permitted to be used for the ancillary uses permitted by **Exceptionsection 499.1.1(1)(b)(i) to 499.1.1(1)(b)(v)**, both inclusive;
 - .e no more than one card and newspaper shop shall be permitted in any building or structure and the card and newspaper shop shall not have a gross floor area in excess of 93 square metres;
 - .f parking and loading shall be provided in accordance with General Provisions for Commercial Zones and General Provisions for Industrial Zones of this by-law;
 - .g refuse storage shall be enclosed and shall be screened from view from all highways and streets, and
 - .h refuse storage for a restaurant shall be enclosed in a climate controlled area within the building.

12.499.3 for the purposes of Exceptionsection 499.:

- .1 Card and Newspaper Shop shall mean a retail establishment limited to the sale of newspapers, magazines, books, tobacco products, gifts and confectionary goods.